

ALL DIMENSIONS TO BE FIELD

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REVISIONS	DATE	BY

DeFONSECA
ARCHITECTS
125-10 Queens Blvd.
Kew Gardens, NY 11415
TEL: (718) 650 5580
DeFonsecaadob@aol.com

PROJECT
PROPOSED 1 FAMILY DWELLING
82-46 166th STREET
JAMAICA NY 11432

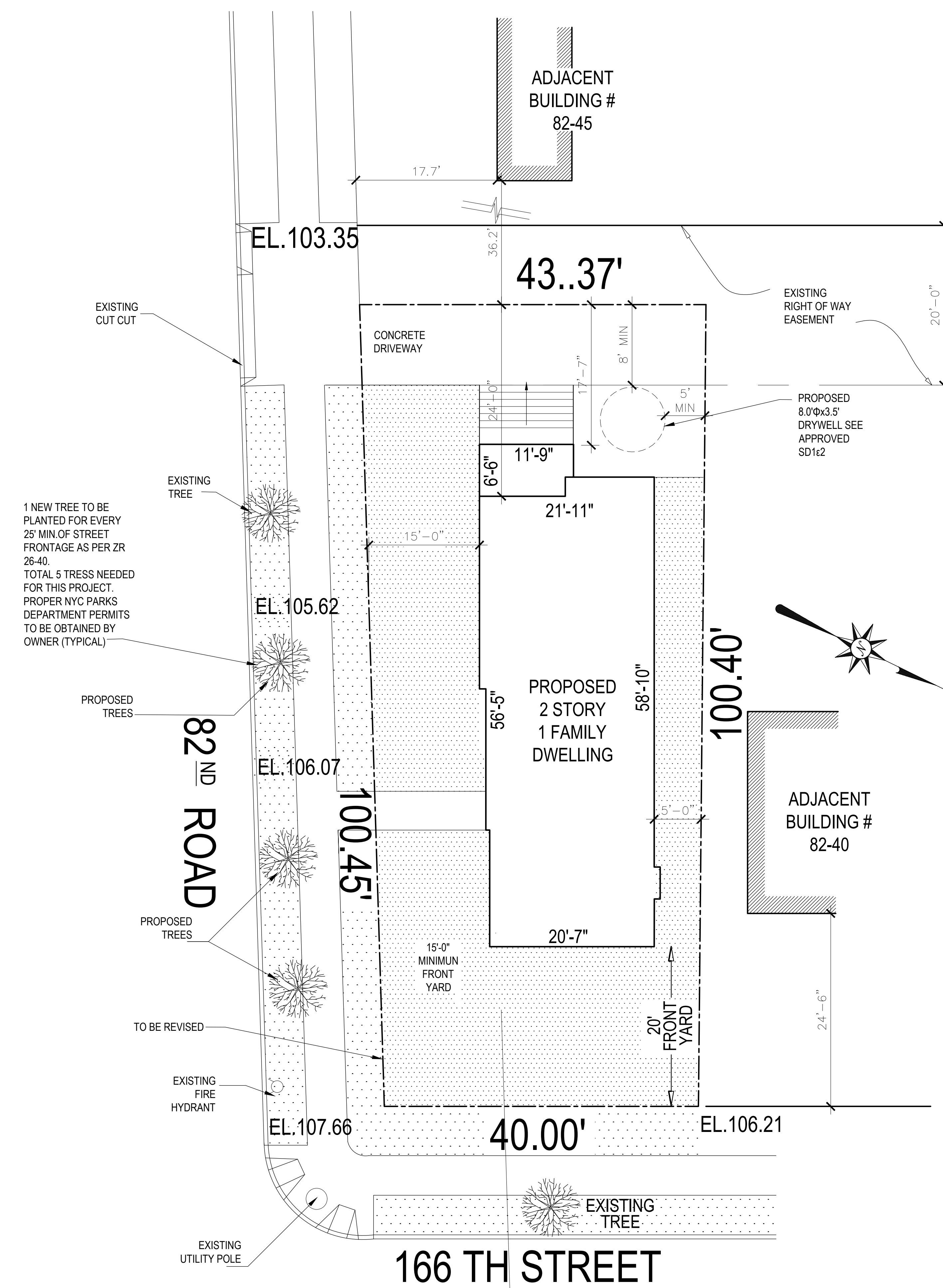
PLOT PLAN

	DATE:
	PROJECT No.:
	DRAWING BY:
	CHECKED BY:
Z-001.00	
SHEET No.	1 OF 13

ZONING CALCULATIONS

R2A		CALCULATION	ZR SECTION
LOT AREA		LOT AREA= 4184.38 SQ FT	
MIN AREA		3,800 SQ FT ACT.LOT AREA= 4184.38 SQ FT	23-32
MIN LOT WIDTH		40.0 FT, EXISTING LOT WIDTH: 40.0 FT OK	23-32
MAX F.A.R (.5Ø)		4184.38 X .50 = 2092.19	23-141(b)
SEE ZONING CALCULATIONS ON SHET Z-001			
ACT. F.A	1ST FLOOR	1,226.52	
	2ND FLOOR	997.48	
	TOTAL F.A	1,226.52 1,102.71 = 2,079.23 2,224.23 > 2,092.19	
MAX.LOT COVERAGE (30%MAX)		4,184.138 x 30%= 1,255.31 MAX	23-141(b)
ACT.LOT COVERAGE		1,226.52 < 1,255.55	
DWLLING UNITS (MAX FLOOR AREA/1900)		2,092.19 / ,900= 1.10 PROVIDED=DWELLING UNIT	23-22
MIN. SIZE OF DWELLING UNITS		925.0 SF F:T MIN PROV. = 1,875.69	23-23
REQ'D. YARDS (CORNER LOT)	FRONT YARD	15' MIN AND/OR ALIGN WITH EXISTING ADJACENT FRONT YARD, BUT NOT EXCEED 20 FT IN DEPTH PROV.=20' AND 15'	23-45
	SIDE YARD	REQ MIN 5.0'	23-461
	REAR YARD	NON-REQ' CORNER LOT REAR YARD EQUIVALENT MIN 20' REQ. 30'-10" PROVIDED	
MAX. HEIGHT		21.0' MAX PERIMETER WALL PROVIDED= 20'-5"	23-32
		35.0' MAX BUILDING HT PROVIDED= 30'-1"	

AREAS FLOOR PLANS	
CELLAR	1,218.85 Sq.ft
1ST FLOOR	1,226.52 Sq.ft
2ND FLOOR	997.48 Sq.ft



BASE PLANE CALCULATIONS

$$\frac{106.21+107.66}{2} \times 107.5' = 106.79$$

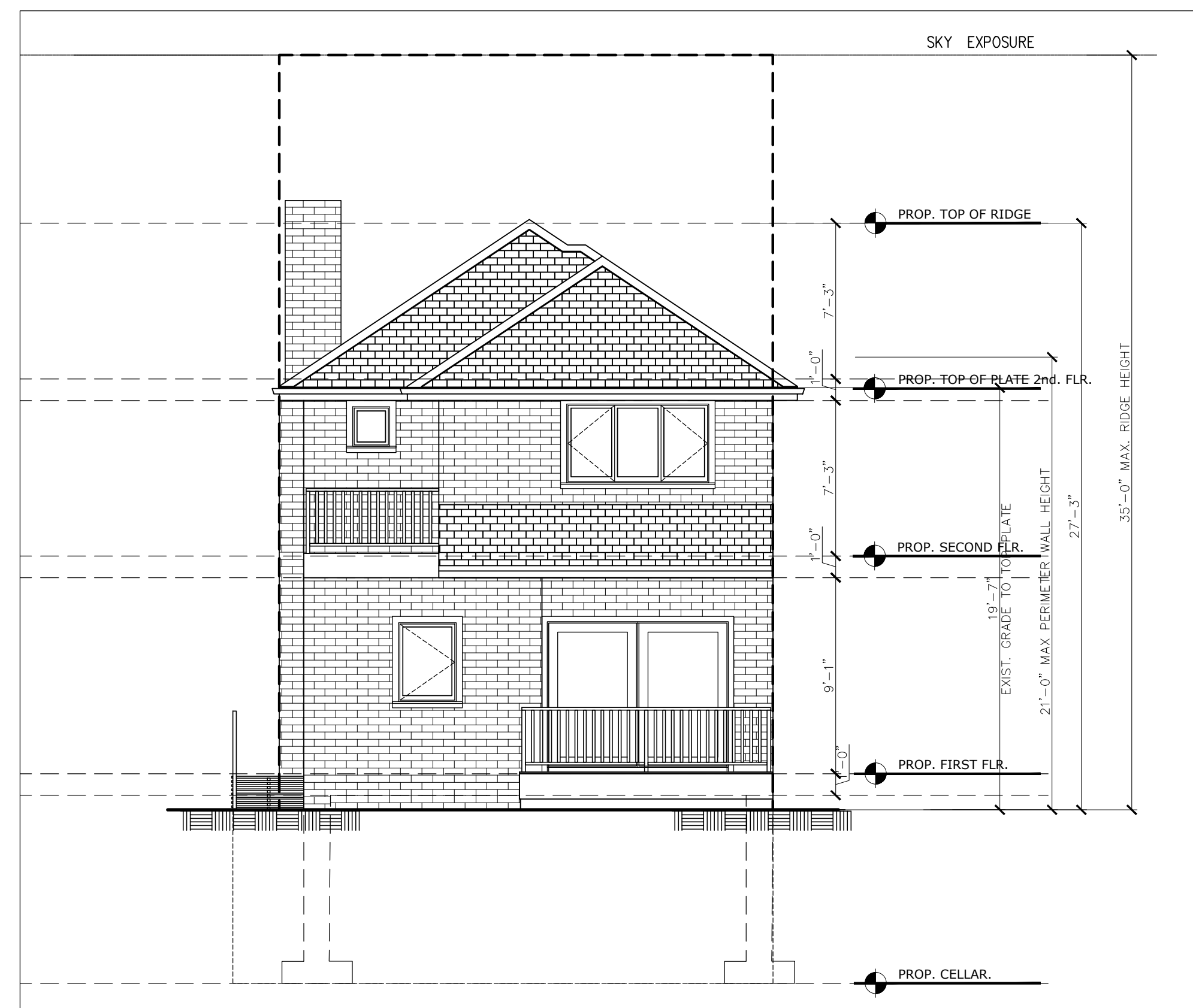
$$\frac{107.66+105.62}{2} \times 106.07' = 106.79$$

$$\frac{107.54 + 106.07}{2} = 106.79$$

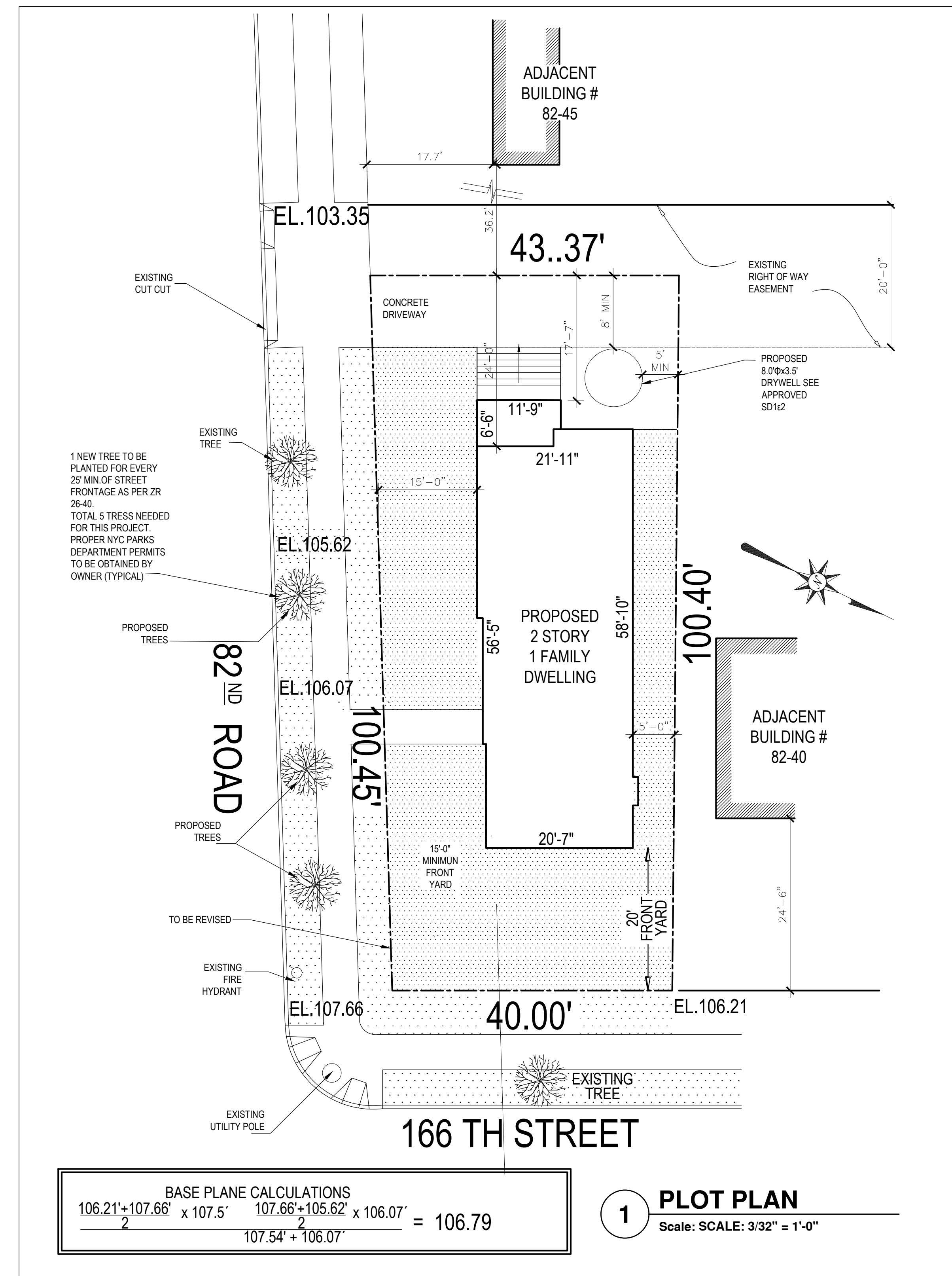
1 PLOT PLAN
Scale: SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE:
3/16"=1'-0"



EAST ELEVATION
SCALE:
3/116"=1'-0"



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PROJECT
PROPOSED 1 FAMILY DWELLING
82-46 166th STREET
JAMAICA NY 11432

ZONING ANALYSIS
SKY ESPOSURE PLAN

SEAL & SIGNATURE
REGISTERED ARCHITECT
JULIAN CASARIS DeFONSECA
019458
STATE OF NEW YORK

DATE:
PROJECT No.:
DRAWING BY:
CHECKED BY:
DWG. No.:
Z-002.00
SHEET No. **2 OF 13**

GENERAL CONSTRUCTION NOTES

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE REQUIRED TO CHECK AND VERIFY ALL DIMENSIONS AND FILED CONDITIONS AT BUILDINGS SITE AND PREMISES AND NOTIFY THE LANDLORD, THE INTERIOR DESIGNER OR TENANTS CONSTRUCTION REPRESENTATIVE OF ANY AND ALL DISCREPANCIES AND LIST ANY WORK NOT YET COMPLETED BY LANDLORD BEFORE STARTING WORK.

ALL WORK ON THIS PROJECT SHALL BE IN ACCORDANCE WITH ALL CODES, SUB CODES AND BUILDING DEPARTMENTS HAVING JURISDICTION GENERAL CONTRACTOR TO CONTACT LOCAL BUILDING OFFICIALS FOR SPECIFIC REQUIREMENTS FOR THIS USE. ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH LL29.

ALL CONTRACTORS SHALL CHECK AND VERIFY ALL FIELD CONDITIONS AND SHALL HAVE SOLE RESPONSIBILITY FOR VERIFICATION OF CLEAR HEIGHTS WITHIN THE PREMISES, ANY DISCREPANCIES SHALL BE REPORTED TO THE APPLICANT IMMEDIATELY. THE GENERAL CONTRACTOR IS TOTALLY RESPONSIBLE FOR ALL "HOLD" DIMENSIONS AND IS TO CONTACT THE INTERIOR DESIGNER AND/OR THE TENANT'S CONSTRUCTION REPRESENTATIVE FIRST, PRIOR TO BUILDING WALLS, IF THERE IS A QUESTION. TENANTS FIXTURES FIT INTO PLACE WITH NOROOM FOR ERROR.

THE GENERAL CONTRACTORS AND ALL SUBCONTRACTORS WORKING ON THIS PROJECT ARE RESPONSIBLE FOR CONTACTING THE PUBLIC UTILITY COMPANIES SUPPLYING UTILITIES TO THE AREA WHERE THE PROJECT IS LOCATED, IN ORDER TO VERIFY LOCATIONS OF UTILITIES, UNDERGROUND OR OVERHEAD, AND SECURE THE PROPER PROCEDURES WHILE WORKING ADJACENT TO, ABOVE OR NEAR SUCH UTILITIES TO AVOID ANY PROBLEMS WITH LOCATIONS OF UNDERGROUND UTILITIES EXPLOSIONS, DISCONNECTION, REMOVAL, ETC.

GENERAL CONTRACTOR SHALL LAY OUT WORK AS SPECIFIED IN THE DRAWINGS AND SHALL BE HELD RESPONSIBLE FOR PROPER ESTABLISHMENT AND MAINTENANCE OF ALL LINES AND DIMENSIONS. BEFORE DOING ANY WORK, THIS GENERAL CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS AT THE SITE AND NOTIFY THE APPLICANT OF RECORD OF ANY DISCREPANCIES VERBALLY AND THEN IN WRITING.

ALL CONTRACTORS SHALL BE BONDABLE, LICENSED CONTRACTORS POSSESSING GOOD LABOR RELATIONS AND MUST BE CAPABLE OF QUALITY WORKMANSHIP, IN HARMONY WITH OTHER CONTRACTORS WORKING ON THE PROJECT.

PRIOR TO COMMENCEMENT OF ANY WORK, THE GENERAL CONTRACTOR SHALL CONTACT AND MEET WITH OWNER FOR A PRE-CONSTRUCTION MEETING, AT WHICH TIME THE GENERAL CONTRACTOR WILL PRESENT TO ALL PARTIES A LIST OF NAMES, ADDRESSES, BUSINESS AND HOME TELEPHONE NUMBERS OF THE SUBCONTRACTORS FOR THIS PROJECT.

THE GENERAL CONTRACTOR, ALL SUBCONTRACTORS OR OUTSIDE SERVICES COMPLETING WORK ON THIS PROJECT SHALL COMPLY WITH ALL THE PROVISIONS OF O.S.H.A. (OCCUPATIONAL SAFETY AND HEALTH ACT).

ALL CLEARANCES OF PIPES AND DUCT WORK INSTALLED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS MUST BE MAINTAINED FOR ADEQUATE HEIGHTS REQUIRED FOR CEILING SYSTEM AND LIGHT FIXTURES. THE STOCK ROOM CEILING (IF REQUIRED) SHOULD BE AS HIGH AS POSSIBLE AND WITHIN CODE REQUIREMENTS.

THE GENERAL CONTRACTOR IS TO ARRANGE WITH THE OWNER FOR THE BUILDING, WHERE BUILDING EQUIPMENT AND MATERIALS ARE TO BE LOCATED AND HOW TRUCK TRAFFIC IS TO BE ROUTED TO AND FROM THE BUILDING. EACH CONTRACTOR AND SUBCONTRACTOR PARTICIPATING IN THE PERFORMANCE OF TENANT'S WORK SHALL MAKE APPROPRIATE ARRANGEMENTS WITH LANDLORD FOR HOISTING MATERIAL AND SHALL OBTAIN APPROVAL FROM LANDLORD FOR ANY SPACE OUTSIDE OF THE DEMISED PREMISES WITHIN THE SHOPPING CENTER OR BUILDING (AS APPLICABLE) WHICH SUCH CONTRACTOR OR SUBCONTRACTOR DESIRES TO USE FOR STORAGE, HANDLING AND MOVING OF ITS MATERIALS AND EQUIPMENT AS WELL AS FOR THE LOCATION OF ANY FIELD OFFICE OR FACILITIES FOR ITS PERSONNEL.

THE CONTRACTOR AND SUBCONTRACTORS PARTICIPATING IN THE PERFORMANCE OF WORK SHALL REMOVE AND DISPOSE OF AT LEAST ONCE A WEEK AND MORE FREQUENTLY AS IF NECESSARY, ALL DEBRIS AND RUBBISH CAUSED BY OR RESULTING FROM THE PERFORMANCE OF TENANTS WORK AND, UPON COMPLETION THEREOF, REMOVE ALL TEMPORARY STRUCTURES, SURPLUS MATERIALS, DEBRIS AND RUBBISH OF WHATEVER KIND REMAINING IN THE BUILDING (AS APPLICABLE) WHICH HAS BEEN BROUGHT IN OR CREATED BY THE CONTRACTOR AND SUBCONTRACTORS IN THE PERFORMANCE OF TENANT'S WORK. THIS CONTRACTOR MUST MAINTAIN A CLEAR PATH OF EGRESS FROM THE PREMISES FREE FROM TRASH AND RUBBISH AT ALL TIMES.

ALL REMOVAL OF CONSTRUCTION DEBRIS TO AN APPROVED DUMPING SITE TO BE INCLUDED IN THE GENERAL CONTRACTOR'S WORK.

AN APPROVAL BY THE OWNER WILL BE REQUIRED IN WRITING AND SIGNED BY THE OWNER, FOR ANY STRUCTURAL CHANGES DURING THE COURSE OF THE CONSTRUCTION PHASE OF PROJECT, AS WELL AS VERIFICATION OF CORRECT INSTALLATION AND SPECIFICATION FOR MISCELLANEOUS STEEL FOR H.V.A.C. EQUIPMENT (IF APPLICABLE), DUCTS, CONDUCTS, ETC. THE GENERAL CONTRACTOR IS TO SUPPLY THE MILLWORK, AS WELL AS SHOP DRAWINGS OF ALL MILLWORK, PRIOR TO START OF CONSTRUCTION, FOR APPROVAL OF ARCHITECT OR OWNER.

ALL EQUIPMENT, MILLWORK AND FIXTURES SUPPLIED BY THE CONTRACTOR TO BE UNLOADED ASSEMBLED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER OR ARCHITECT

ANY SUBSTITUTIONS OF FINISH MATERIALS MUST BE APPROVED BY THE ARCHITECT OR TENANT'S CONSTRUCTION REPRESENTATIVE IN WRITING. THE TENANT'S GENERAL CONTRACTOR IS RESPONSIBLE FOR SUBMITTING TWO (2) SAMPLES OF EACH SUBSTITUTION. EACH CONTRACTOR OR HIS SUBCONTRACTOR PERFORMING WORK SHALL MAINTAIN CONTINUOUS PROTECTION OF ADJACENT PREMISES IN SUCH MANNER AS TO PREVENT ANY DAMAGE TO TENANT'S WORK OR ADJACENT PROPERTY AND IMPROVEMENTS BY REASON OF THE PERFORMANCE OF TENANT'S WORK. EACH CONTRACTOR AND SUBCONTRACTOR SHALL PROPERLY PROTECT TENANTS WORK WITH LIGHTS, GUARD RAILS, AND BARRICADES AND SECURE ALL PARTS THEREOF AGAINST STORM AND ACCIDENT.

PROTECTION OF WORK IN PLACE WORK - WORK IN PLACE THAT IS SUBJECT TO INJURY BECAUSE OF OPERATIONS BEING CARRIED

ON ADJACENT THERETO SHALL BE COVERED, BOARDED UP, OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION. ALL FORMS OF PROTECTION SHALL BE CONSTRUCTED IN A MANNER SUCH THAT, UPON COMPLETION, THE ENTIRE WORK WILL BE DELIVERED TO THE OWNER IN PROPER, WHOLE, AND UNBLEMISHED CONDITION.

THE APPLICANT IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR EXISTING CONDITIONS AT THE JOB SITE.

THE STRUCTURAL SYSTEM OF THE BUILDING HAS BEEN DESIGNED TO CARRY A MINIMUM LIVE LOAD AS SPECIFIED IN THE BUILDING CODE LOADING IMPOSED BY THE CONTRACTOR ON A TEMPORARY OR PERMANENT BASIS SHALL NOT EXCEED SUCH SPECIFIED LOAD.

ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL NOT CREATE ANY WORK STOPPAGE, PICKETING, LABOR DISRUPTION OR DISPUTE OR VIOLATE OWNER'S LABOR CONTRACTS

AFFECTING THE BUILDING OR INTERFERE WITH THE BUSINESS

OR USE OF THE BUILDING. IN THE EVENT OF THE OCCURRENCE OF ANY WORK STOPPAGE, PICKETING, LABOR DISRUPTION OR DISPUTE RESULTING FROM ACTIONS OR OMISSIONS OF THE GENERAL CONTRACTOR OR SUBCONTRACTORS OR ANY SUBTENANT OR CONCESSIONAIRE, OR THEIR RESPECTIVE EMPLOYEES, CONTRACTORS OR SUBCONTRACTORS, GENERAL CONTRACTOR SHALL, IMMEDIATELY UPON NOTICE FROM LANDLORD, CEASE THE CONDUCT GIVING RISE TO SUCH CONDITION. THIS CLAUSE MUST BE PART OF ALL GENERAL CONTRACTOR AGREEMENTS AND IF

SUCH CLAUSE IS NOT INCLUDED, IT WILL NOT RELIEVE THE GENERAL CONTRACTOR OF THE REQUIREMENTS OR WORK STATED HEREIN.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTION OF THE WORK UNDER THE CONTRACT, UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MAHERS. SEE A.I.A. DOCUMENT A021 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, ARTICLE 3, SECTION 33.1 (1987 EDITION).

THE INTERIOR DESIGNER SHALL NOT HAVE CONTROL OVER OR CHANGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. SEE A.I.A. DOCUMENT B141 STANDARD FORM OF AGREEMENT BETWEEN OWNER AND INTERIOR DESIGNER, ARTICLE 2. SECTION 2.6.6 (1987 EDITION).

WHEN BIDDING THIS PROJECT, EACH CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND VERIFYING EXISTING CONDITIONS AS REFLECTED IN THESE CONTRACT DOCUMENTS. ANY EXTRA WORK REQUIRED BUT NOT INCLUDED IN THE DOCUMENTS SHALL BE REPORTED TO THE TENANT OR TENANT'S INTERIOR DESIGNER IMMEDIATELY.

THE GENERAL CONTRACTORS AND ALL SUBCONTRACTORS ARE REQUIRED TO FURNISH THE FOLLOWING MINIMUM COVERAGE AND LIMITS OF LIABILITY. IF THE OWNER'S REQUIREMENT'S ARE MORE STRINGENT, CONTRACTORS ARE REQUIRED TO ADHERE TO MOST STRINGENT REQUIREMENTS.

A. WORKMAN'S COMPENSATION, AS REQUIRED BY STATE LAW, AND INCLUDING EMPLOYER'S LIABILITY INSURANCE WITH A LIMIT OF NOT LESS THAN \$2,000,000 AND ANY INSURANCE REQUIRED BY ANY EMPLOYEE BENEFITS ACTS OR OTHER STATUTES APPLICABLE WHERE THE WORK IS TO BE PERFORMED AS WILL PROTECT THE CONTRACTOR AND SUB CONTRACTORS FROM ANY AND ALL LIABILITY UNDER THE AFOREMENTIONED ACTS

B. COMPREHENSIVE GENERAL LIABILITY INSURANCE (INCLUDING CONTRACTOR'S PROTECTIVE LIABILITY) IN AN AMOUNT NOT LESS THAN \$2,000,000 FOR ANY ONE OCCURRENCE WHETHER INVOLVING BODILY INJURY LIABILITY (OR DEATH RESULTING THEREFROM) OR PROPERTY DAMAGE LIABILITY OR A COMBINATION THEREOF WITH A AGGREGATE LIMIT OF \$2,000,000. SUCH INSURANCE SHALL PROVIDE FOR EXPLOSION, COLLAPSE AND UNDERGROUND COVERAGE. SUCH INSURANCE SHALL INSURE THE OWNER, FROM GENERAL CONTRACTOR'S AGAINST ANY AND ALL CLAIMS FOR BODILY INJURY. INCLUDING DEATH RESULTING THEREFROM AND DAMAGE TO OR DESTRUCTION OF PROPERTY OF ANY KIND WHATSOEVER AND TO WHOMEVER BELONGING AND ARISING FROM IT'S OPERATIONS UNDER THE CONTRACT AND WHETHER SUCH OPERATIONS ARE

PERFORMED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR ANY OF THEIR SUBCONTRACTORS, OR BY ANY ONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.

TENANT'S PROTECTIVE LIABILITY INSURANCE.

TENANT SHALL PROVIDE OWNER'S PROTECTIVE LIABILITY INSURANCE AS WILL INSURE TENANT AGAINST ANY AND ALL LIABILITY TO THIRD PARTIES FOR DAMAGE BECAUSE OF BODILY INJURY LIABILITY (OR DEATH RESULTING THEREFROM) AND PROPERTY DAMAGE LIABILITY OF OTHERS OR A COMBINATION THEREOF WHICH MAY ARISE FROM WORK IN CONNECTION WITH THE LEASED PREMISES, AND ANY OTHER LIABILITY FOR DAMAGES WHICH TENANT'S GENERAL CONTRACTOR AND/OR SUBCONTRACTORS ARE REQUIRED TO INSURE AGAINST UNDER ANY PROVISIONS HEREIN. SAID INSURANCE SHALL BE PROVIDED IN MINIMUM AMOUNTS AS FOLLOWS:

A. BODILY INJURY, PER OCCURRENCE FOR PERSONAL INJURY AND/OR DEATH \$2,000,000.00.

B. PROPERTY DAMAGE LIABILITY \$5,000,000.00.

TENANT'S BUILDERS RISK INSURANCE-COMPLETED VALUE BUILDERS RISK MATERIAL DAMAGE INSURANCE COVERAGE.

THE GENERAL CONTRACTOR AND OWNER, TO THE FULLEST EXTENT PERMITTED BY LAW ARE TO INDEMNIFY, HOLD HARMLESS, AND DEFEND THE ARCHITECT/ENGINEER, ITS CONSULTANTS, AND THE EMPLOYEES AND AGENTS OF ANY OF THEM FROM AND AGAINST ANY AND ALL CLAIMS, SUITS, DEMANDS, LIABILITIES, LOSSES, DAMAGES, AND COSTS ("LOSSES"), INCLUDING BUT NOT LIMITED TO COSTS OF DEFENSE, ARISING IN WHOLE OR IN PART OUT OF THE NEGLIGENCE OF THE CONTRACTOR, ITS SUBCONTRACTORS, THE OFFICERS, EMPLOYEES, AGENTS AND SUBCONTRACTORS OF ANY OF THEM, OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, REGARDLESS OF WHETHER OR NOT SUCH LOSSES ARE CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER. SPECIFICALLY EXCLUDED FROM THE FOREGOING ARE LOSSES ARISING OUT OF (1) THE PREPARATION OR APPROVAL OF MAPS, DRAWINGS, OPINIONS, REPORTS SURVEYS, CHANGE ORDERS, DESIGNS, OR SPECIFICATIONS, AND (2) THE GIVING OF OR FAILURE TO GIVE DIRECTIONS BY THE INTERIOR DESIGNER, ITS CONSULTANTS, AND THE AGENTS AND EMPLOYEES OF ANY OF THEM. PROVING SUCH GIVING OR FAILURE TO GIVE IS THE PRIMARY CAUSE OF LOSS.

THE GENERAL CONTRACTOR IS REQUIRED TO FAMILIARIZE ALL PERSONS AND SUBCONTRACTOR WORKING ON THIS PROJECT WITH THESE GENERAL NOTES AND THE CONTRACT DOCUMENTS NOTED IN THESE DRAWINGS. THE CONTRACTORS SHALL BE RESPONSIBLE FOR FULLY ACQUAINTING THEMSELVES WITH THE CONTENT AND SCOPE OF THESE SPECIFICATIONS, AND SPECIAL ATTENTION SHOULD BE GIVEN TO THE SPECIFICATIONS THROUGHOUT THE SPAN OF THIS PROJECT. IF WORK IS DECLARED UNACCEPTABLE BY THE OWNER, IT SHALL BE CORRECTED IN A MANNER AND TO A DEGREE OF QUALITY WHICH IS ACCEPTABLE BY THE OWNER.

C. THE GENERAL CONDITIONS OF THE "CONTRACT FOR CONSTRUCTION" DOCUMENT A-201, ISSUED BY THE AMERICAN INSTITUTE OF ARCHITECTS, 1981 EDITION, RELATES TO THE WORK OF THIS PROJECT AND IS HEREBY MADE A PART OF THESE DRAWINGS AS THOUGH FULLY CONTAINED IN THESE DRAWINGS.

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REVISIONS	DATE	BY

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TEL: (718) 650 5580
DeFonseca.dob@aol.com

PROJECT
**CONSTRUCTION FENCE
PROPOSED 1 FAMILY
DWELLING**
82-46 166 th STREET
JAMAICA NY 11432

GENERAL NOTES

SEAL & SIGNATURE

REGISTERED ARCHITECT
JUAN CARLOS DeFONSECA
012468
STATE OF NEW YORK

DATE:
PROJECT No.:
DRAWING BY:
CHECKED BY:
DWG. No.:
EQ-001.00

SHEET No. **3** OF **13**

PROGRESS PRINT - 10-24-2020

THE TENANT'S GENERAL CONTRACTORS AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY NUMBER OF COPIES OF DOCUMENT A-201, TO ACQUAINT HIMSELF WITH THE ARTICLES CONTAINED THEREIN AND TO REVIEW WITH ALL SUBCONTRACTORS, SUPPLIERS AND ANY OTHER PARTIES TO THE CONTRACT OR INDIVIDUALS OR AGENCIES ENGAGED ON THE WORK AS TO ITS CONTENTS.

THE ARCHITECT OR OWNER MAY ORDER EXTRA WORK, ALTER, ADD TO, OR DEDUCT FROM THE CONTRACT WORK. THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY, AND SUCH COSTS SHALL BE COMPETITIVE WITH LOCAL CONSTRUCTION COSTS.

AT THE TIME OF FINAL SUBMITTAL OF BID: ALL COSTS BY THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS TO COMPLETELY FURNISH AND COMPLETE THE WORK CONTAINED IN THESE PLANS. A WRITTEN GUARANTEE STIPULATING THE WORKMANSHIP & MATERIALS ARE TO BE GUARANTEE FOR ONE YEAR AT NO ADDITIONAL COST TO THE OWNER. ANY DEFECTIVES IN WORKMANSHIP OR MATERIALS SHALL BE REPAIRED OR REPLACED FOR THE SAME PERIOD OF ONE YEAR AFTER ACCEPTANCE OF WORK, UNLESS OTHERWISE NOTED.

NO CONSTRUCTION EXTRAS FOR MATERIALS OR LABOR WILL BE CONSIDERED OR PAID WITHOUT THE DIRECT AUTHORIZATION AND APPROVAL IN WRITING BY THE ARCHITECT OR OWNER, AGREEING TO SUCH COST. THE ISSUANCE OF CREDITS TO BE CALCULATED BASED ON COMPETITIVE RATES AND EQUIPMENT COSTS APPROVED BY THE ARCHITECT.

THE GENERAL CONTRACTOR SHALL UNLOAD, PROTECT AND INSTALL (INSTALL ONLY IF NOTED TO DO SO), FIXTURES AND FURNISHINGS.

THE ARCHITECT LEAVES ZERO OR MINIMAL CLEARANCE FOR ERROR IN REGARD TO FIXTURE LAYOUT. "HOLD DIMENSION" INDICATIONS ARE TO BE ADHERED TO AND THE CONTRACTOR IS TOTALLY RESPONSIBLE FOR ERROR OR OMISSION. ANY QUESTIONS RELATING TO DIMENSIONING ARE TO BE ADDRESSED TO THE INTERIOR DESIGNER ONLY. ALL PAYMENTS MADE TO THE GENERAL CONTRACTOR FOR THIS PROJECT ARE TO BE ALLOCATED FOR THIS PROJECT ONLY, FOR PAYMENTS TO SUBCONTRACTORS MATERIAL SUPPLIES AND AGENTS AUTHORIZED BY THE SPECIFIC CONTRACTOR TO PERFORM WORK OR SUPPLY MATERIALS TO THIS PROJECT ONLY. THE GENERAL CONTRACTOR IS REQUIRED TO SUBMIT PARTIAL WAIVERS OF LIENS FOR THEIR WORK AS WELL AS SUBCONTRACTORS OR MATERIAL SUPPLIES, UPON THE REQUEST OF THE CLIENT OR THE CLIENT'S ARCHITECT AND THE REQUEST FOR THE FINAL 10% RETENTION ON THIS PROJECT MUST INCLUDE SIGNED AND EXECUTED WAIVERS OF LIEN INDICATING 100% COMPLETION AND 100% PAYMENT IN FULL, BY ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS.

ALL EXITS SHALL BE UNOBSTRUCTED AT ALL TIMES, DURING CONSTRUCTION AND OCCUPANCY.

DEPARTMENT OF BUILDINGS NOTES

CONTRACTOR TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS BEFORE COMMENCING WITH ANY WORK. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE USE OF CRANES, SIDEWALK OR STREET CLOSURE, OR ANY OTHER REQUIRED PERMITS TO COMPLETE WORK. ALL PERMITS SHALL BE CONSPICUOUSLY DISPLAYED AT THE SITE IN A LOCATION OPEN TO THE PUBLIC INSPECTION THROUGHOUT THE DURATION OF THE WORK.

THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL AT ALL TIMES SAFEGUARD THE PUBLIC AND PROPERTY IN ACCORDANCE WITH THE PROVISIONS OF PART II, OF ARTICLE 19 OF THE BUILDING CODE OF NEW YORK CITY.

THE CONTRACTOR AND HIS SUB CONTRACTORS SHALL AT ALL TIMES SAFEGUARD THE PERSONS EMPLOYED IN THIS ALTERATION FROM ANY AND ALL OPERATIONS AND WORK UNDER PERMITS AND SHALL COMPLY WITH THE PROVISIONS OF ARTICLE 10 OF THE NEW YORK STATE LABOR LAW AS IMPLEMENTED BY THE INDUSTRIAL CODE OF THE STATE OF NEW YORK, RULE NUMBER 23 AND THE FEDERAL OCCUPANCY SAFETY AND HEALTH ACT AS AMENDED TO DATE

THE OWNER SHALL VERIFY IF THE AREA OF WORK IS ASBESTOS FREE. THE CONTRACTOR OR OWNER MUST OBTAIN A LICENSED NEW YORK STATE ASBESTOS INVESTIGATOR. IN ADDITION SAMPLE MUST BE TAKEN OF THE AREA OF WORK AS PER REQUIRED BY LOCAL LAWS.

STATE, MUNICIPAL & LOCAL CODES AND BUILDING, CERTIFICATION AND OR BS & A OR M.E.A.. APPROVALS FOR MATERIALS AND OR ASSEMBLIES SPECIFIED SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD FOR APPROVAL.

THE CONTRACTOR WILL BE RESPONSIBLE TO OBTAIN A NEW YORK CITY LICENSED ELECTRICIAN. IN ADDITION ALL ELECTRICAL WORK MUST BE FILED WITH THE BEC AND OBTAIN APPROVAL FOR ALL ELECTRICAL WORK . THE CONTRACTOR WILL BE HELD RESPONSIBLE IF ELECTRICAL REQUIREMENTS ARE NOT MET OR SIGNED OFF.

THE CONTRACTOR MUST OBTAIN A LICENSED MASTER PLUMBER TO INSTALL ALL PLUMBING WORK SHOWN ON THESE PLANS. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY REQUIREMENTS NOT MEANT OR SIGNED OFF.

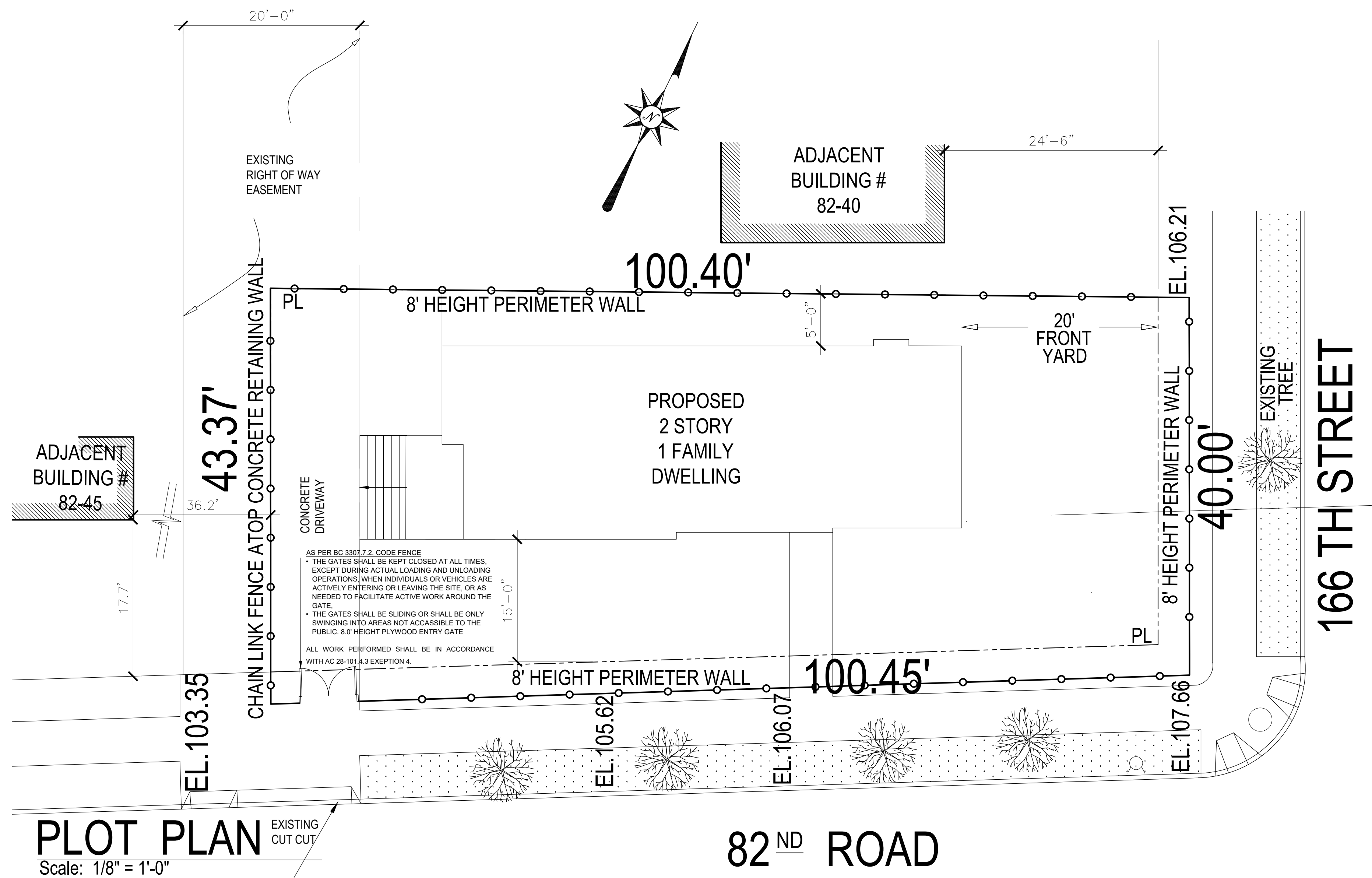
THE CONTRACTOR MUST OBTAIN A LICENSED MECHANICAL CONTRACTOR TO INSTALL ANY MECHANICAL WORK SHOWN ON THESE PLANS. THE CONTRACTOR MUST SUBMIT 2 SETS OF SHOP DRAWINGS TO THE ARCHITECT OR ENGINEER FOR REVIEW BEFORE ANY FABRICATION IS STARTED.

* ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT BUILDING CODE, AS PER AC 28-101.4.3 EXEPTION 4.



ZONING MAP

Scale: N.T.S



PLOT PLAN

Scale: 1/8" = 1'-0"

ADDRESS:	82-46 166 TH STREET
BOROUGH:	QUEENS
BLOCK:	7040
LOT:	1
BIN:	4152409
ZONE:	R2A

SCOPE OF WORK	
CONSTRUCTION FENCE	
BLOCK:	7040
TAX LOT:	1
ZONING DISTRICT:	R2A
ZONING MAP:	
	PROPERTY LINE PL.
	TEMPORARY CONSTRUCTION FENCE
	SLIDING OR SWINGING 8'-0" HEIGHT PLYWOOD ENTRY GATE

ALL DIMENSIONS TO BE FIELD

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REVISIONS	DATE	BY

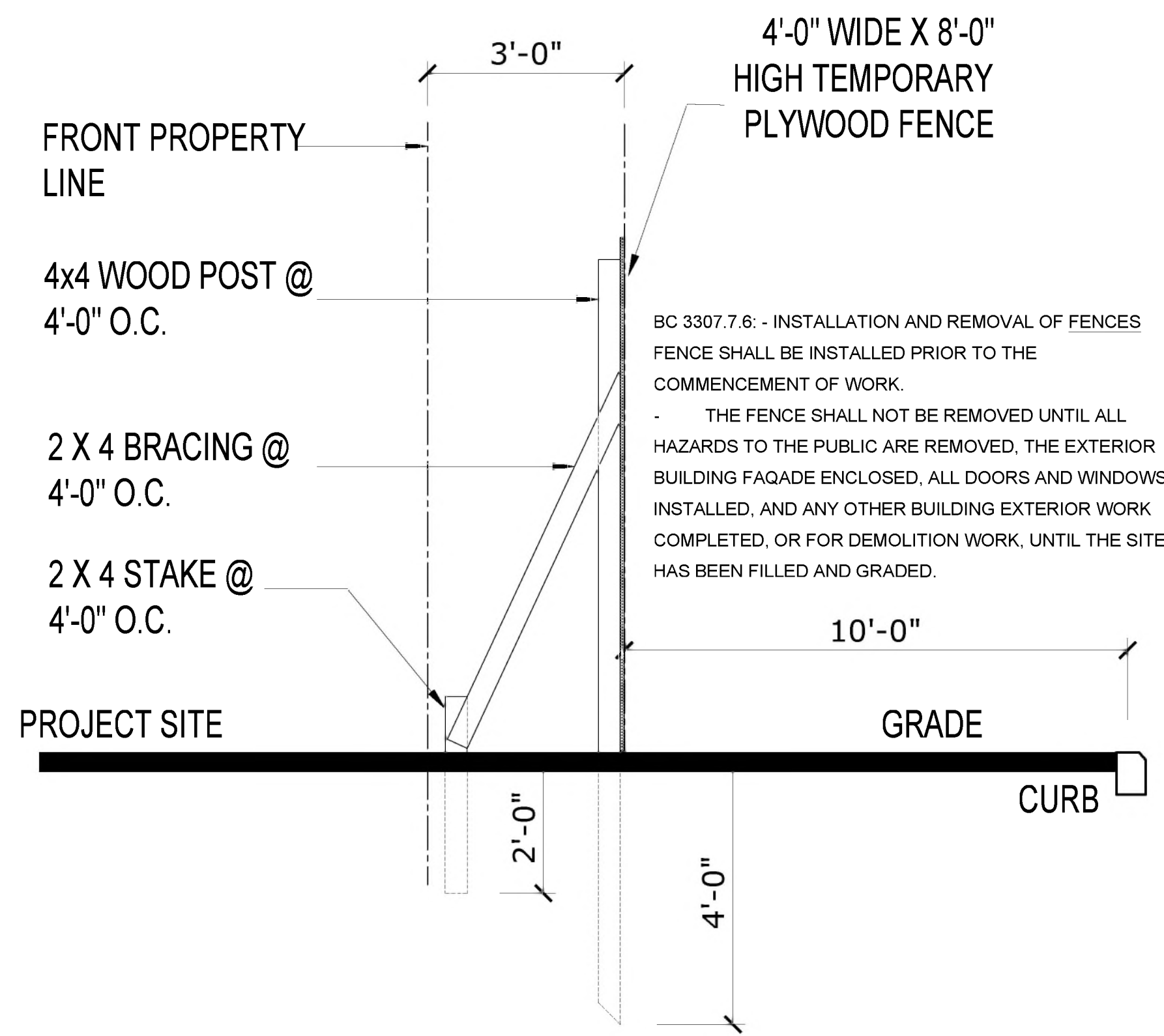
DeFONSECA ARCHITECTS
 125-10 Queens Blvd.
 Kew Gardens, NY 11415
 TEL: (718) 650 5580
 DeFonsecaadob@aol.com

PROJECT
CONSTRUCTION FENCE
PROPOSED 1 FAMILY DWELLING
 82-46 166 TH STREET
 JAMAICA NY 11432

GENERAL NOTES
PLOT PLAN
ZONING INFORMATION

SEAL & SIGNATURE

 DATE: _____
 PROJECT No.: _____
 DRAWING BY: _____
 CHECKED BY: _____
 DWG. No.: **EQ-002.00**
 SHEET No. **4 OF 13**



TEMPORARY WOOD FENCE - SECTION

NOT SCALE

SPECIAL INSPECTIONS		
TR1 - TECHNICAL REPORT	N/A	
PROGRESS INSPECTIONS		
TR0 ENERGY CODE PROGRESS INSPECTION	N/A	
<p>TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ECCCNY 2016.</p>		
<p>CHAPTER# ENERGY ANALYSIS CLIMATE ZONE 4A AMALT313</p>		
ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE-PREScribed VALUE AND CITATION
Nd applicable	Nd applicable	Na applicable

FIGURE 3301.9.1.4(2)
FENCE PROJECT INFORMATION PANEL LAYOUT

EXEMPTION NOTE

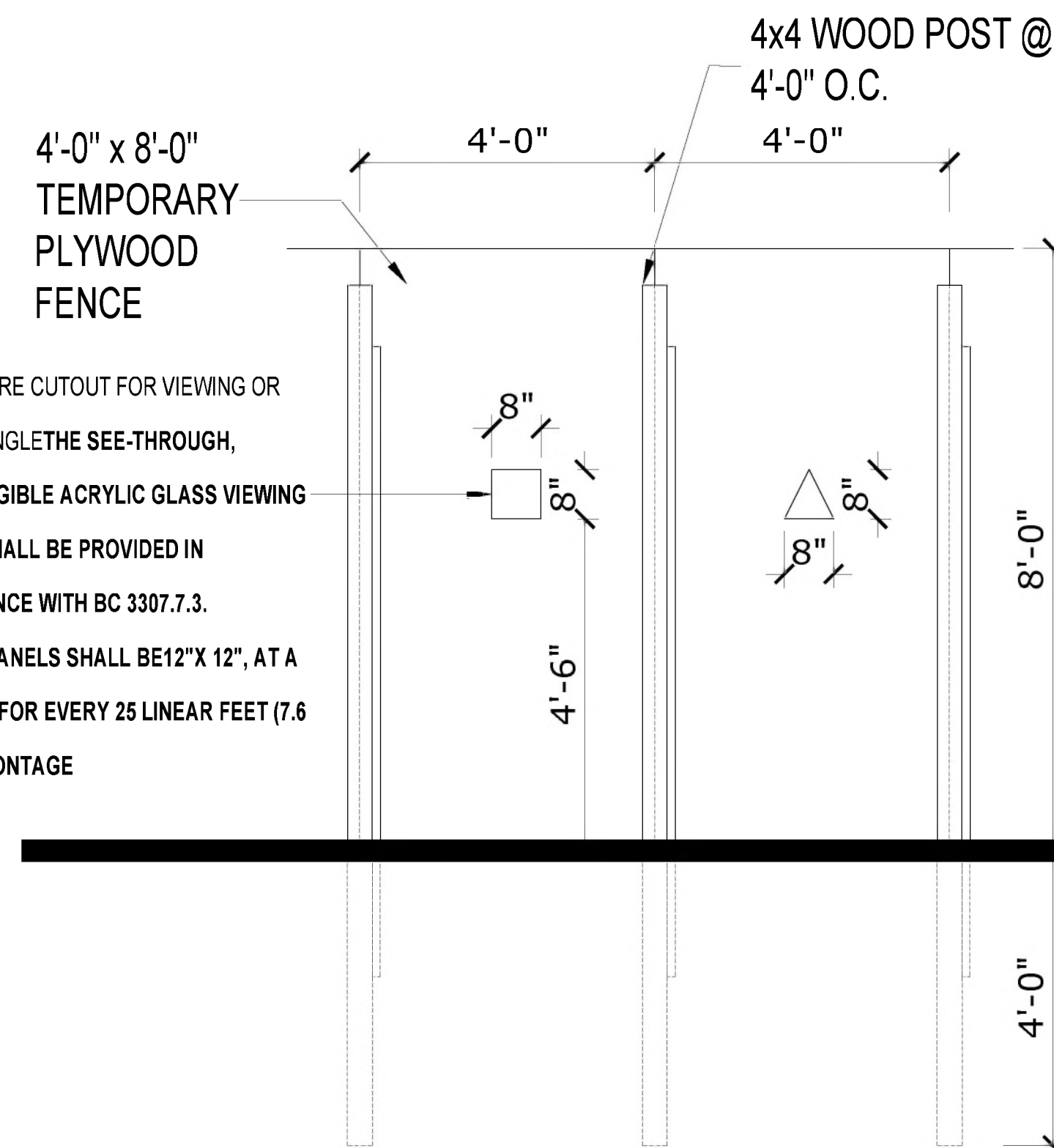
CONSTRUCTION RELATED EQUIPMENT IS A WORK TYPE NOT REGULATED BY THE ECC. (ECC 101.3)

NOTE

TEMPORARY SIDEWALK FENCE TO COMPLY WITH SECTION 28-101.4.3 EXEPTION 4 BUILDING CODE.

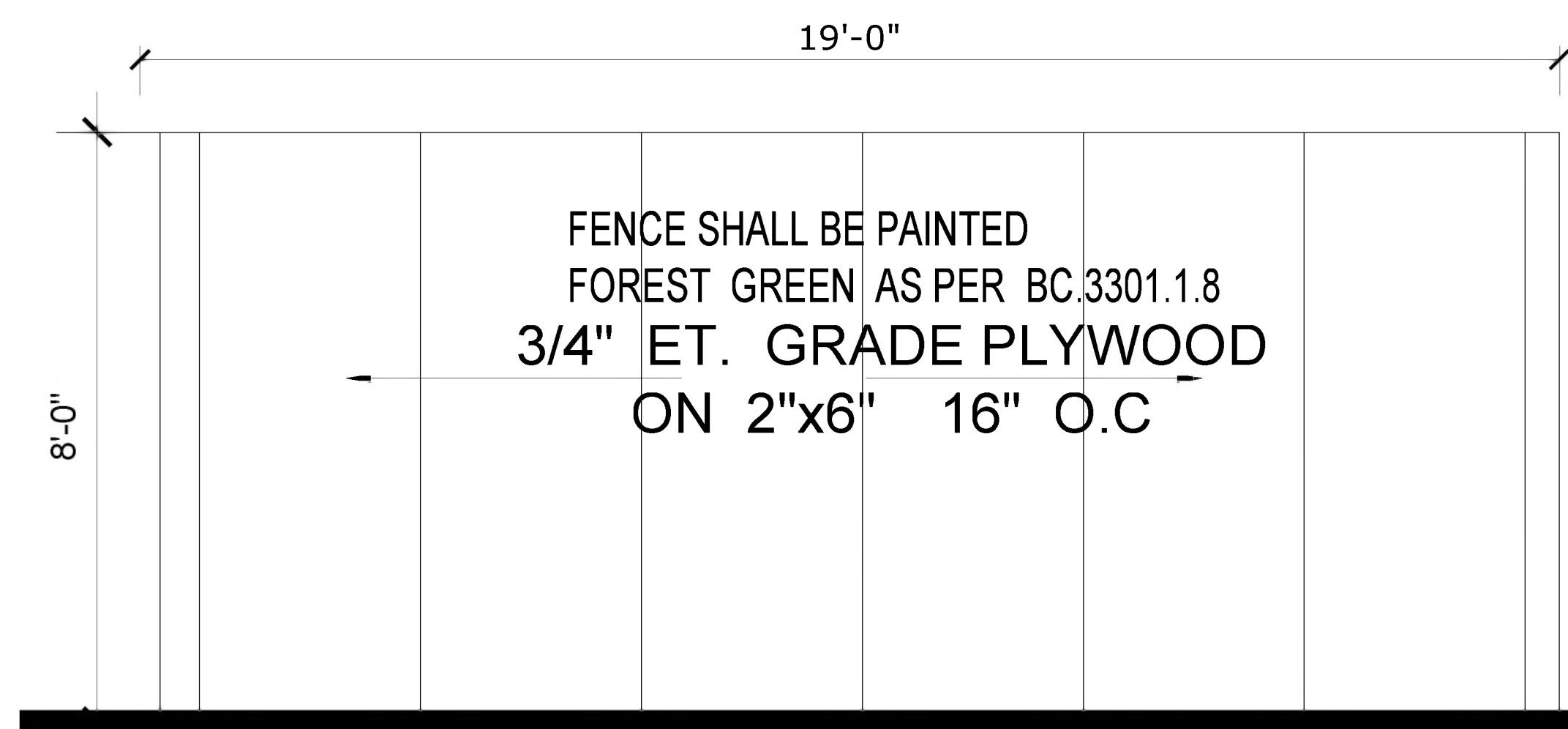
3307.7.7 CONDITION OF FENCES FENCE SHALL BE INSTALLED, ADJUSTED, REPAIRED, AND MAINTAINED IN A SAFE AND SOUND CONDITION, FREE OF PROTRUDING OR LOOSE NAILS, WOOD, OR METAL, AND WITH ALL POSTS IN A VERTICALLY UPRIGHT POSITION, RESTRAINED TO PREVENT THE FENCE FROM LEANING OR OVERTURNING.

BC 3307.7.5 DESIGN OF FENCES THE FENCE INSTALLATION WAS DESIGNED BY A REGISTERED DESIGN PROFESSIONAL, AND THAT THE EFFECT OF WIND ON THE FENCE WAS CONSIDERED IN THE DESIGN IN ACCORDANCE WITH BC CHAPTER 16 OR PROVIDE BSA REFERENCE FOR APPROVAL.



TEMPORARY WOOD FENCE - ELEV

NOT SCALE



TEMPORARY WOOD FENCE ELEVATION

NOT SCALE

FIGURE 3301.9.1.4(1)
FENCE PROJECT INFORMATION PANEL TEXT DETAIL

ALL DIMENSIONS TO BE FIELD

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Kew Gardens, NY 11415
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DeFonsecaadob@aol.com

PROJECT
CONSTRUCTION FENCE PROPOSED 1 FAMILY DWELLING

82-46 166th STREET
JAMAICA NY 11432

GENERAL NOTES ZONING INFORMATION

SEAL & SIGNATURE

REGISTERED ARCHITECT
CARLOS DeFONSECA
019455
STATE OF NEW YORK

DATE:
PROJECT No.:
DRAWING BY:
CHECKED BY:
DWG. No.:
EQ-003.00

SHEET No. **5** OF **13**

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**PROPOSED 1 FAMILY
DWELLING**

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JAMAICA NY 11432

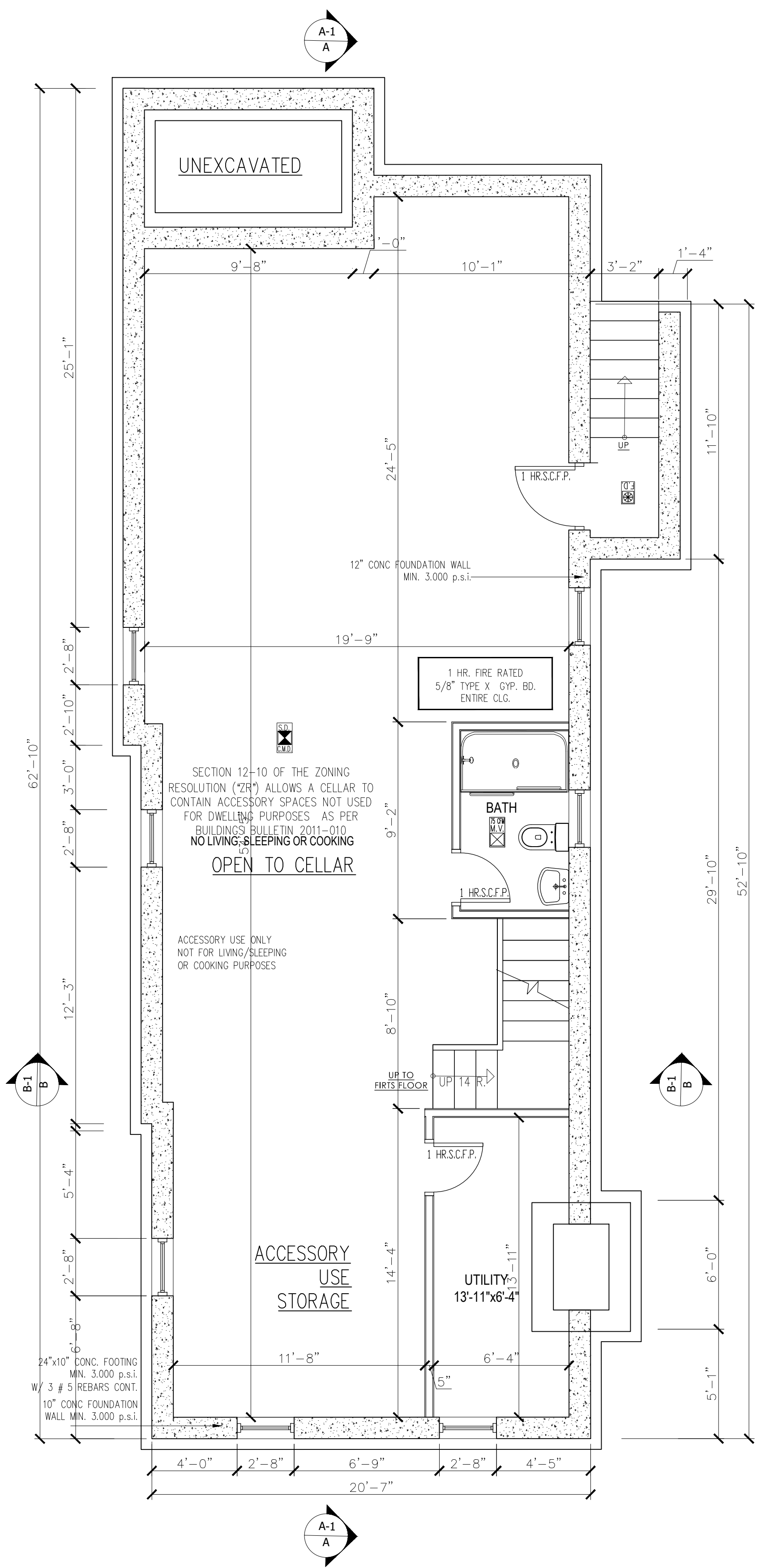
FLOOR PLANS

SEAL & SIGNATURE

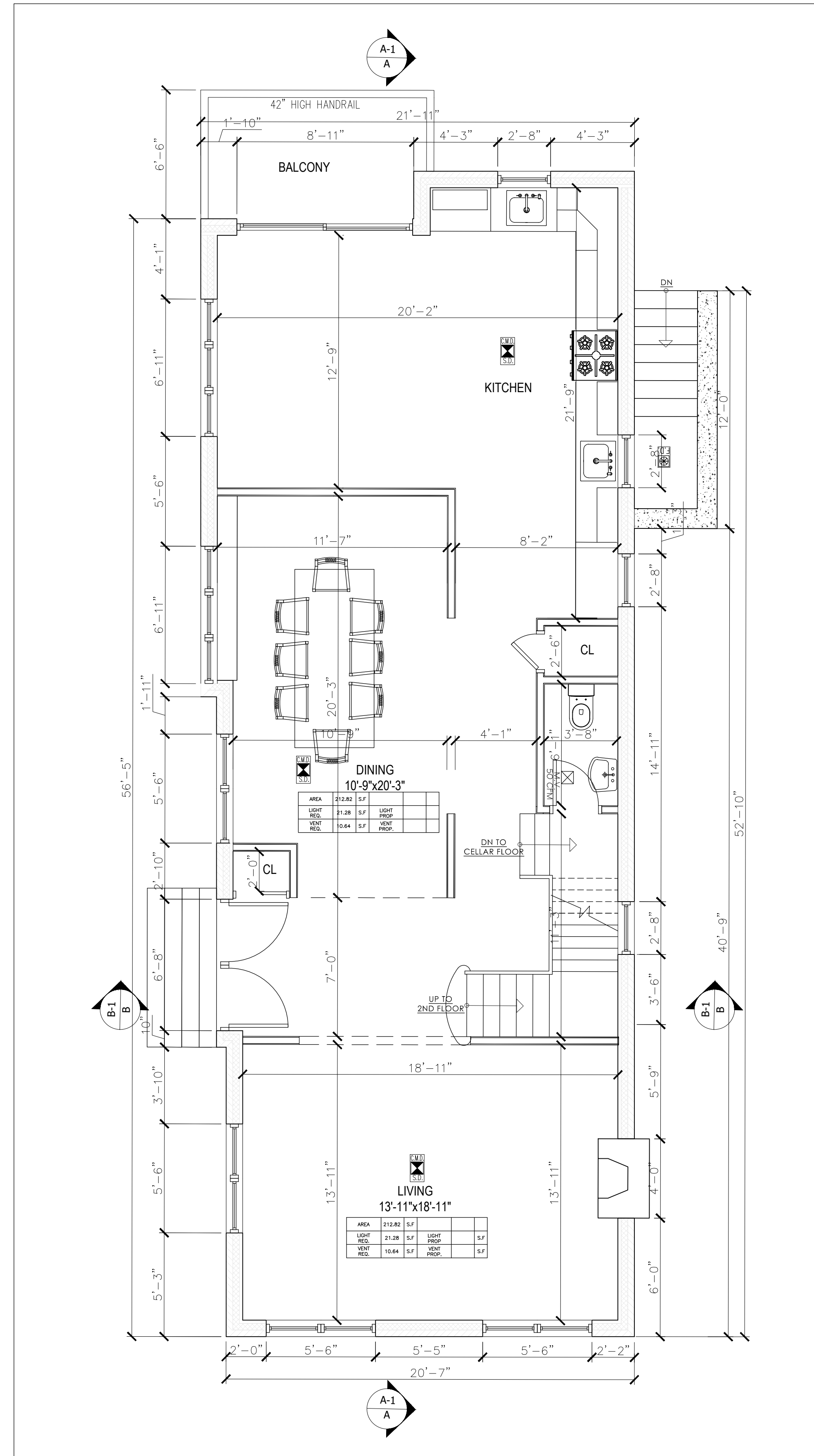
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JUAN CARLOS DeFONSECA
01945B
STATE OF NEW YORK

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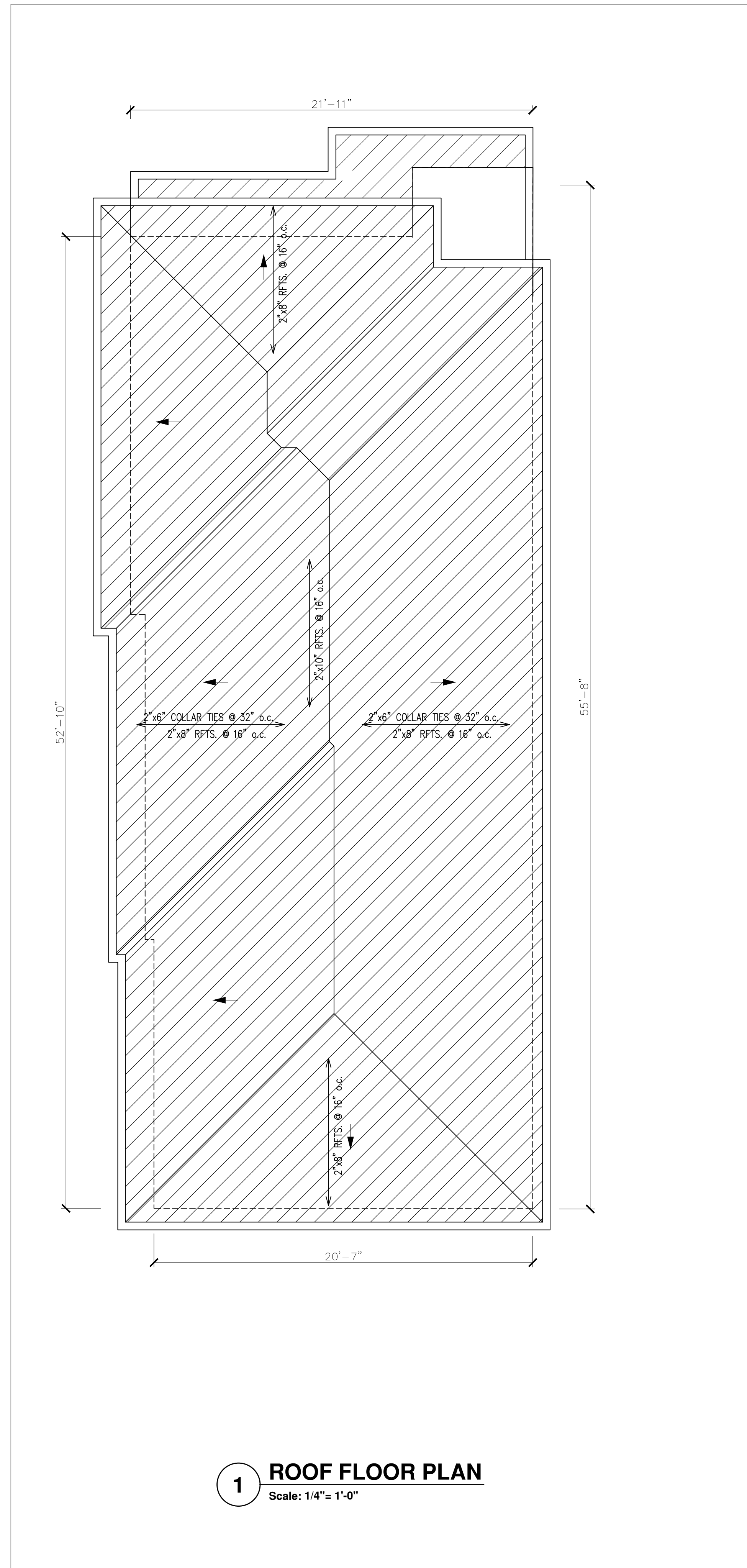
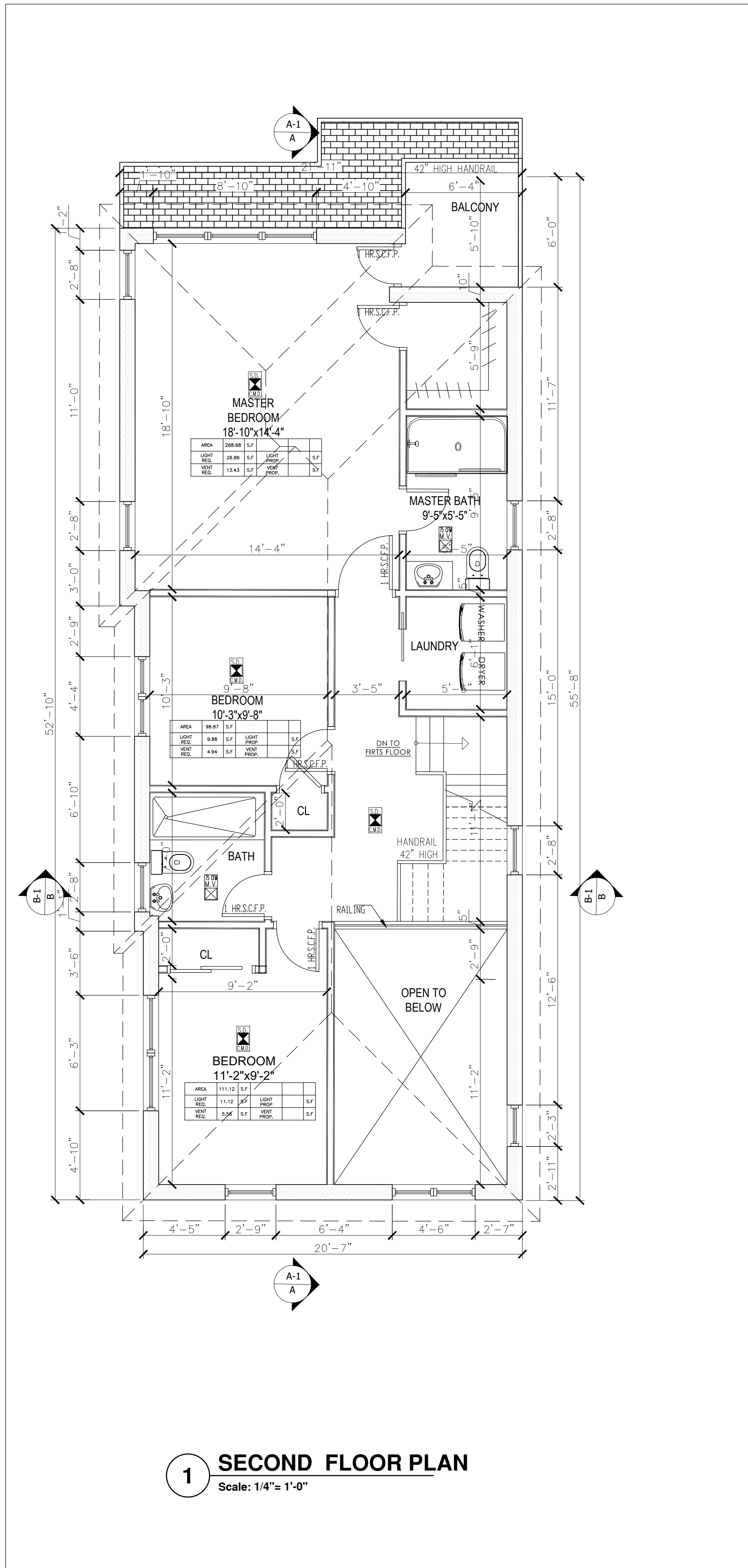
SHEET No. **6** OF **13**



1 CELLAR FLOOR PLAN
Scale: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



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JAMAICA NY 11432

FLOOR PLANS

SEAL & SIGNATURE

DATE:
PROJECT No.:
DRAWING BY:
CHECKED BY:
DWG. No.:
A-002.00
SHEET No. **7** OF **13**

FRONT ELEVATION
SCALE:
1/4"=1'-0"



REAR ELEVATION
SCALE:
1/4"=1'-0"



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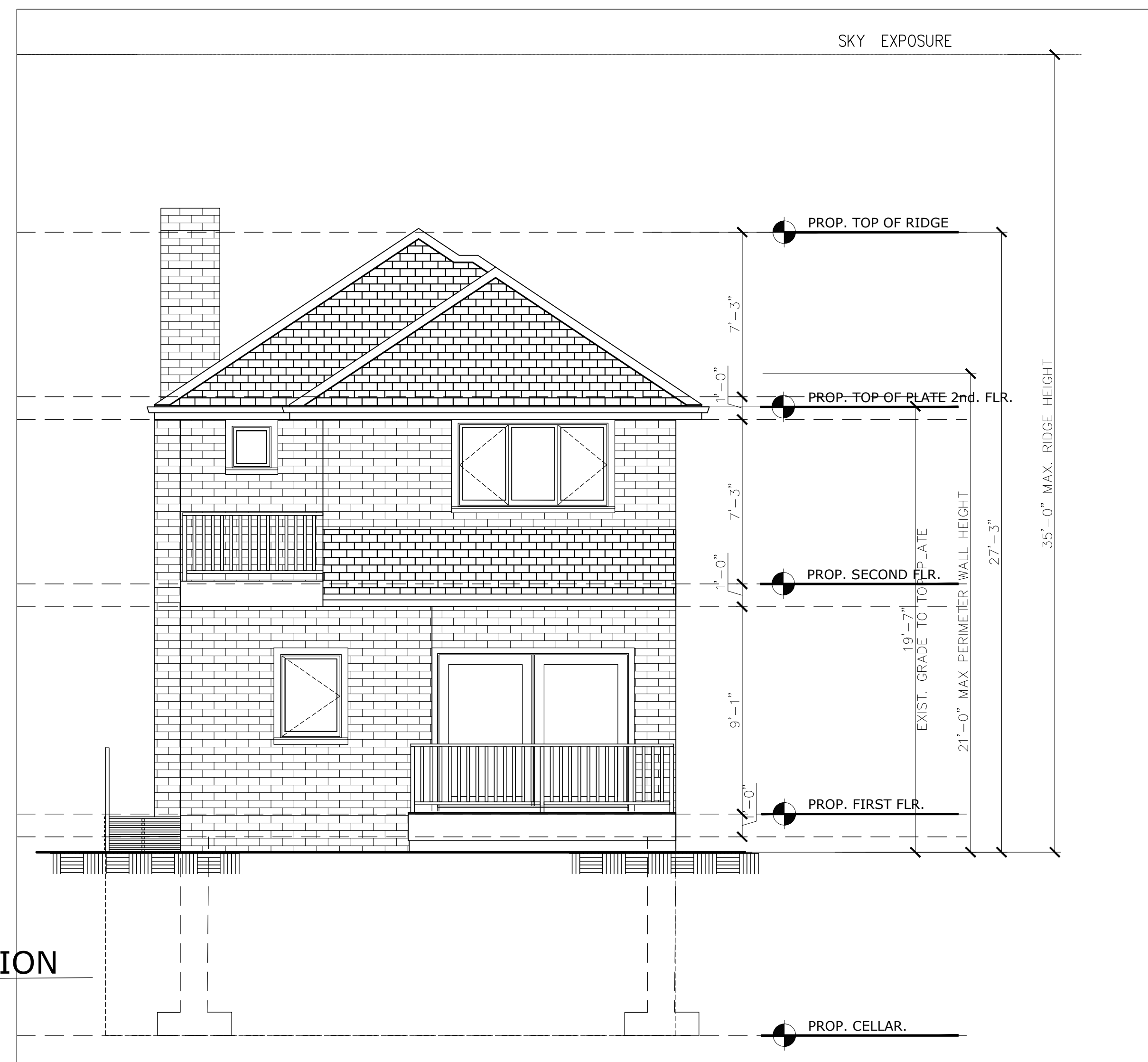
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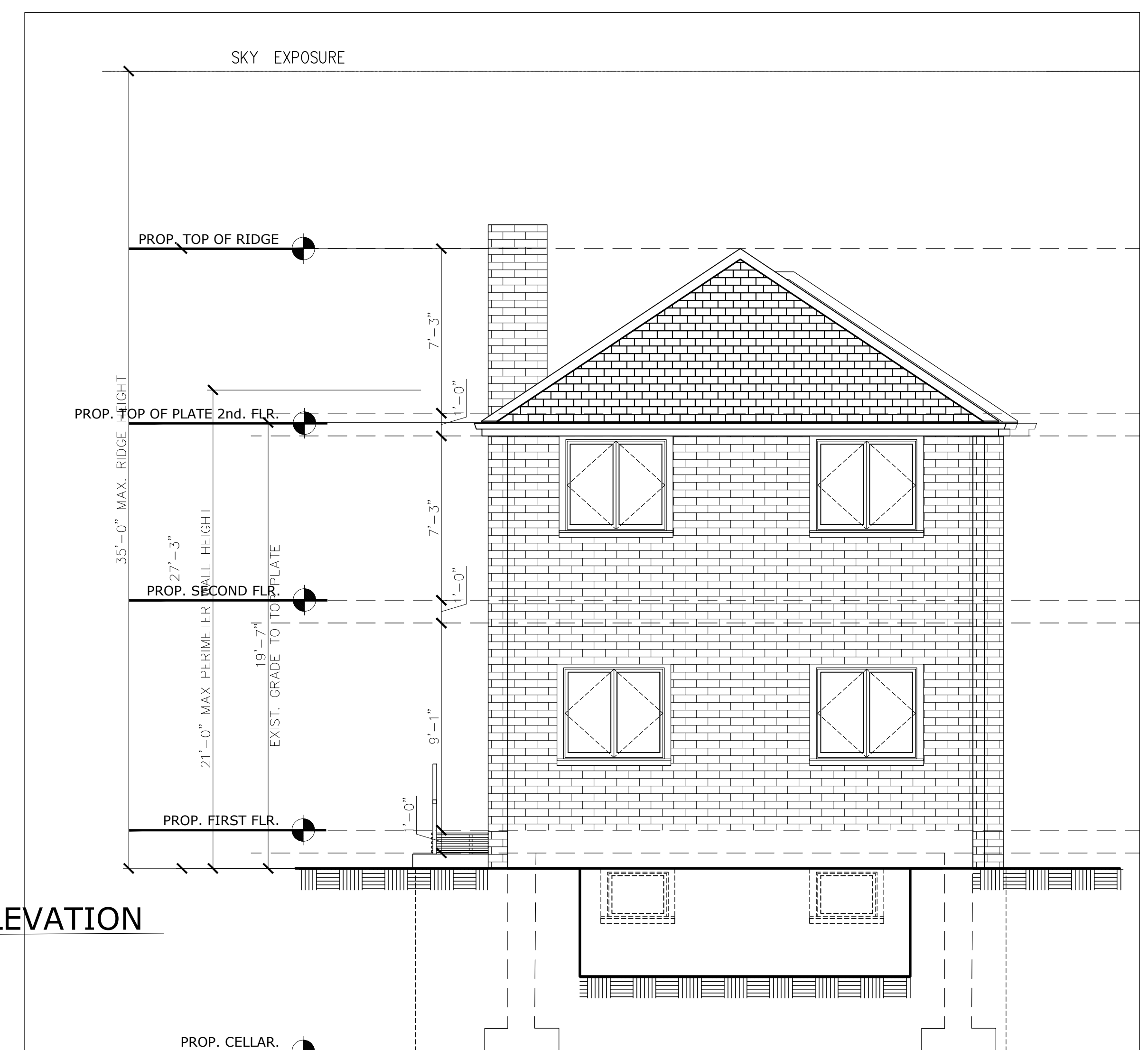
ELEVATIONS

SEAL & SIGNATURE

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A-003.00
SHEET No. **8** OF **13**



EAST ELEVATION
SCALE:
1/4"=1'-0"



WEST ELEVATION
SCALE:
1/4"=1'-0"

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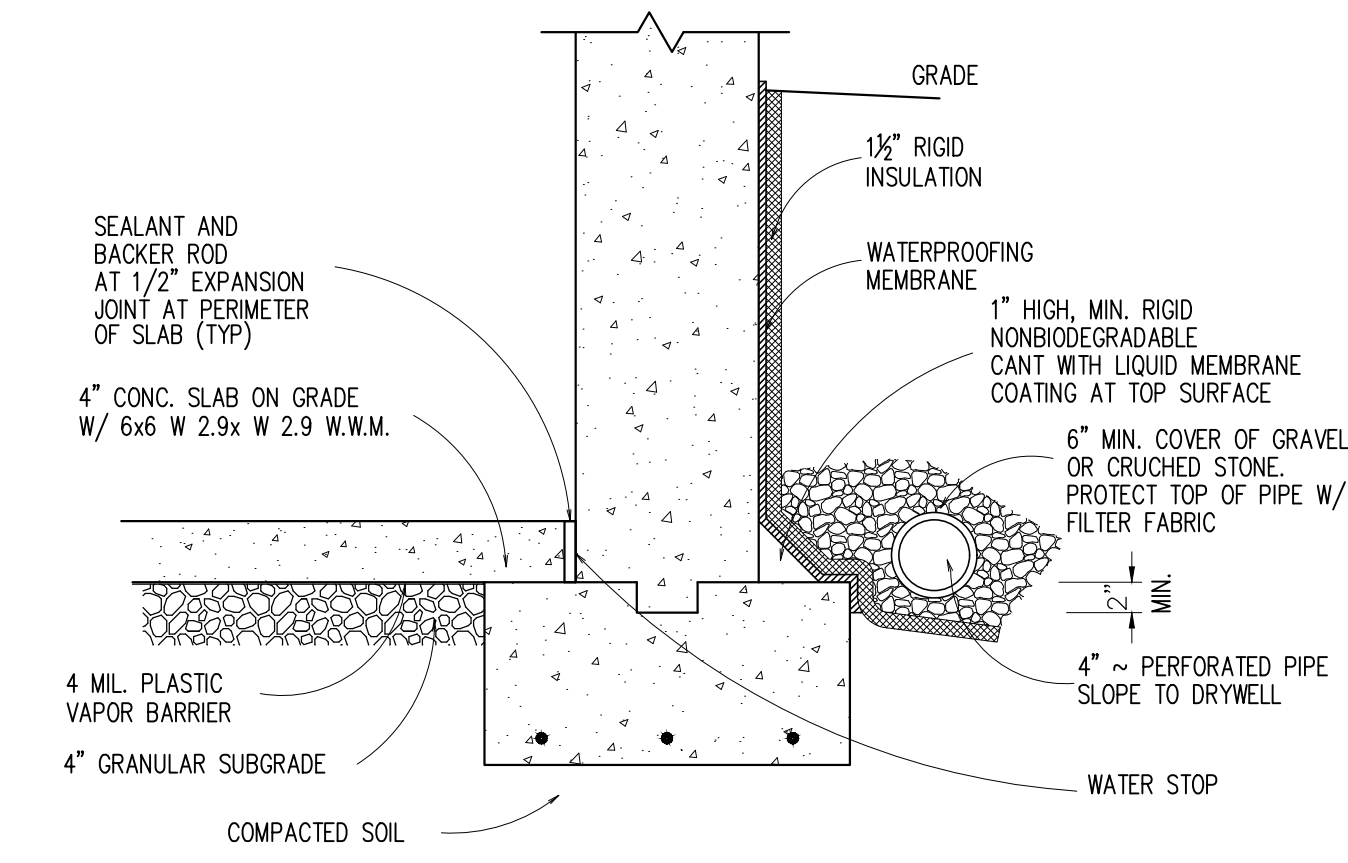
ELEVATIONS

SEAL & SIGNATURE

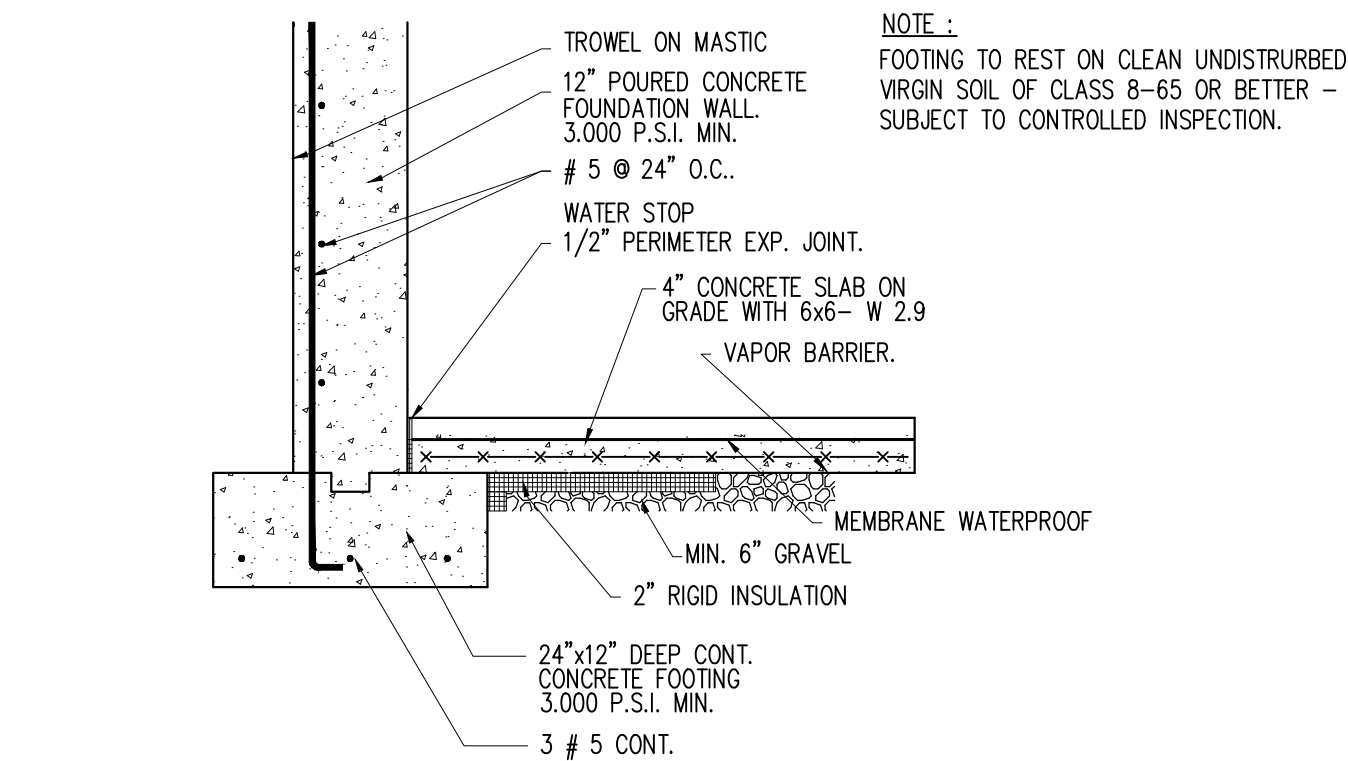
REGISTERED ARCHITECT
JULIAN CASPERS DeFONSECA
019458
STATE OF NEW YORK

DATE:
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A-004.00

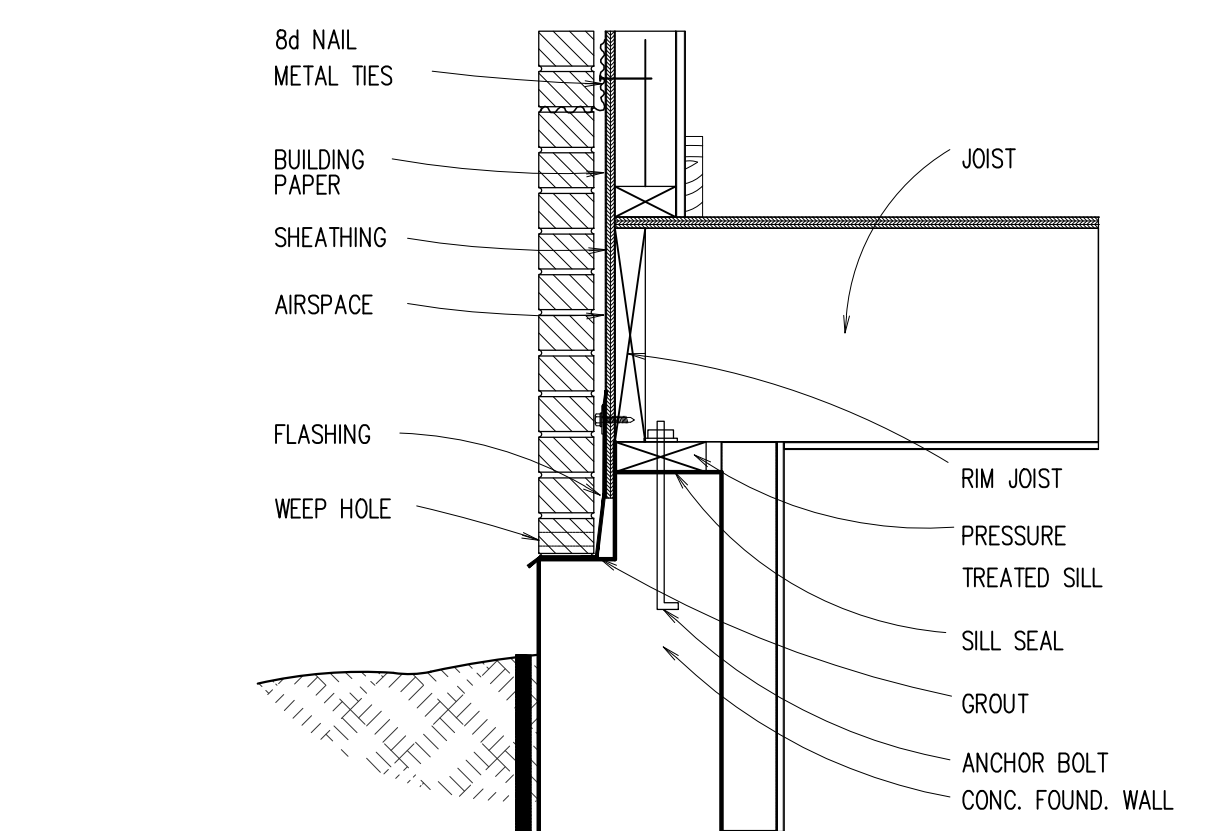
SHEET
No. **9** OF **13**



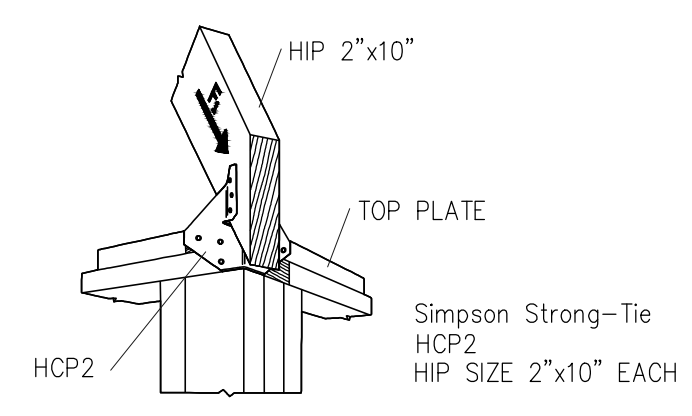
P-2 WATERPROOFING
DETAIL P-2 SEE PLANS



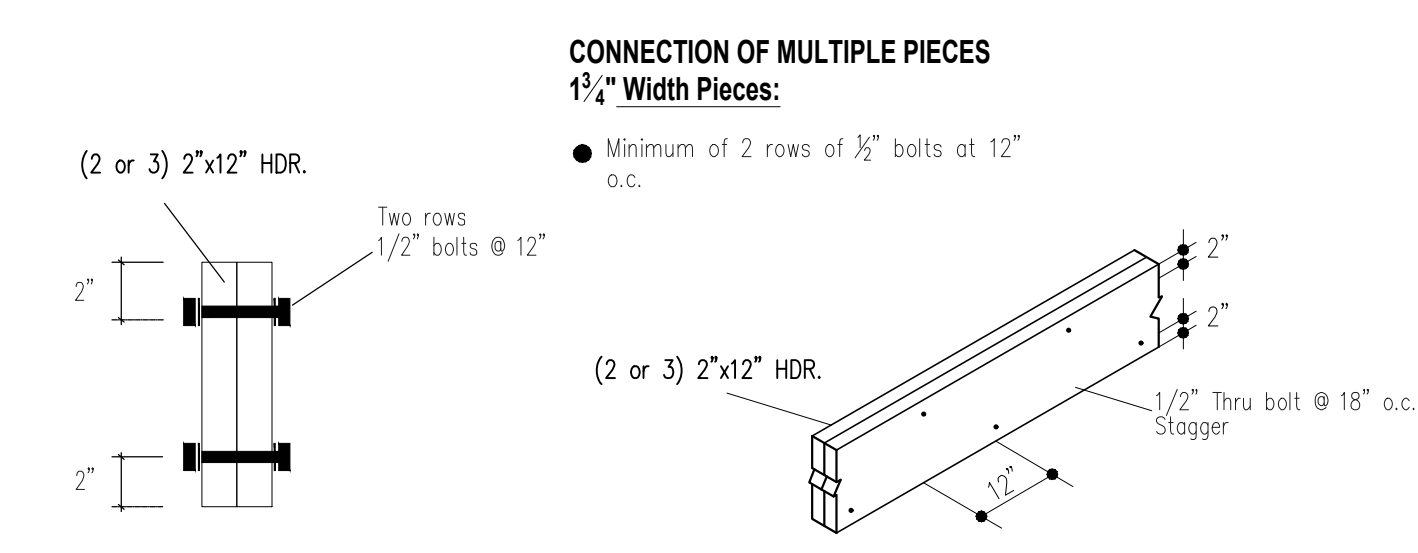
P-3 FOUNDATION WALL
DETAIL P-3 SEE PLANS



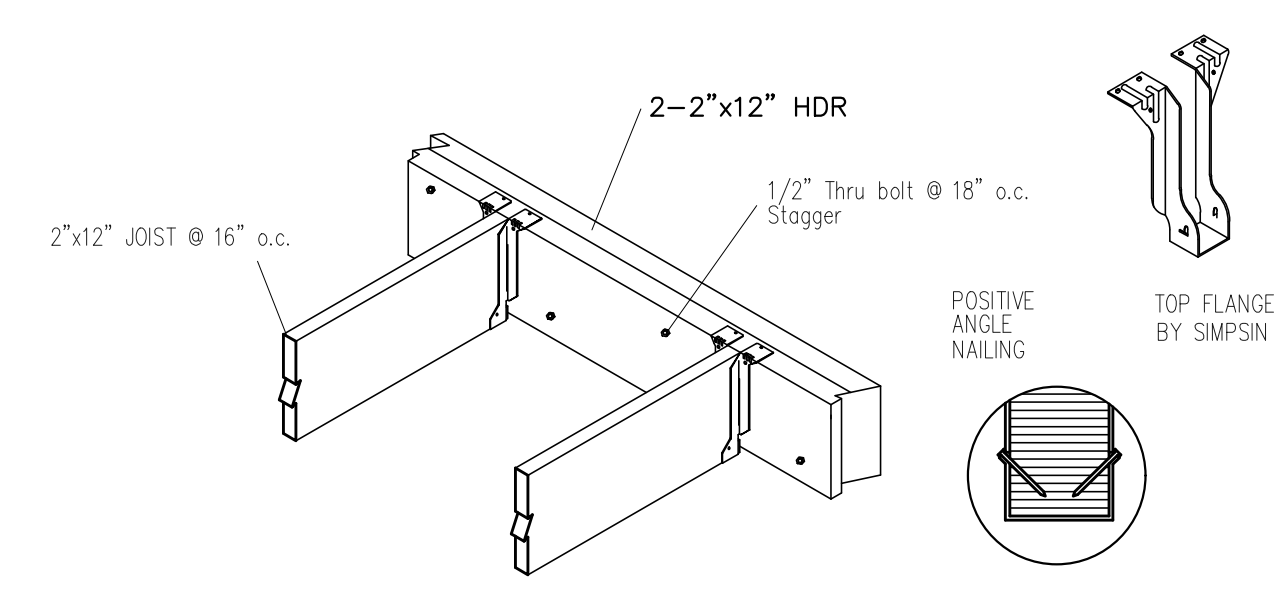
P-1 SILL PLATE
DETAIL P-1 SEE PLANS



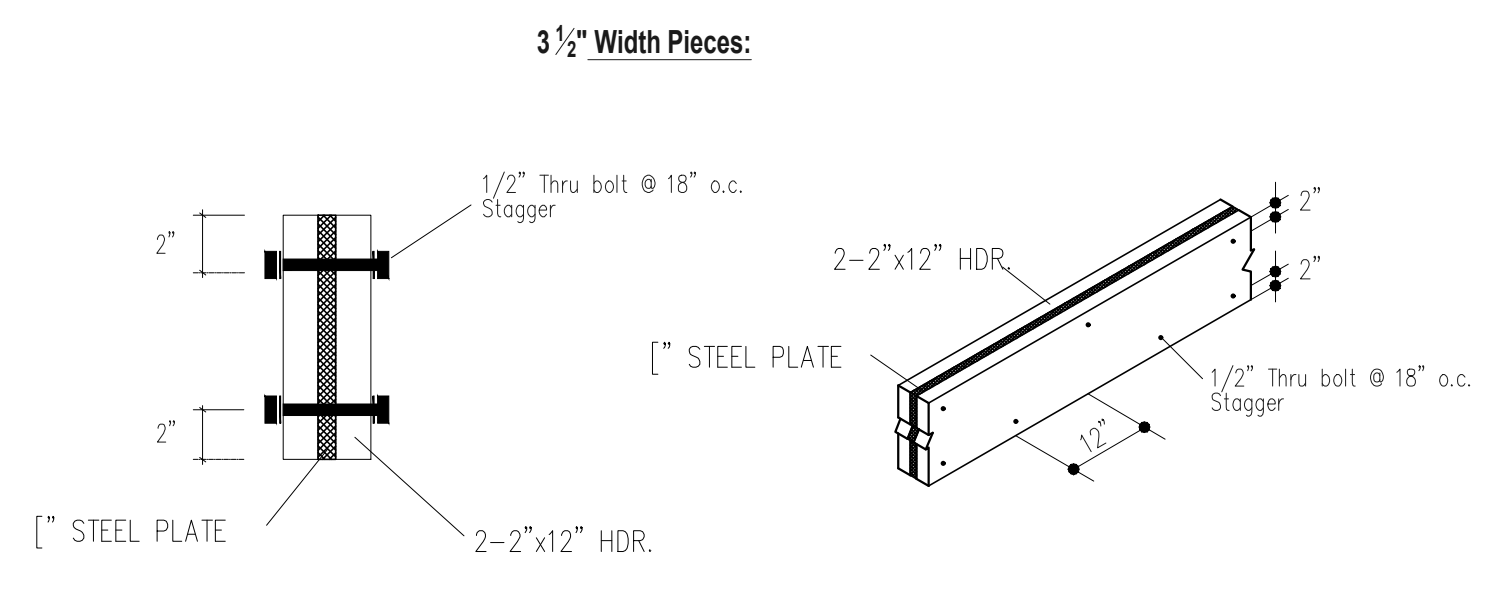
F-6 HIP CORNER PLATES
DETAIL F-6 SEE PLANS



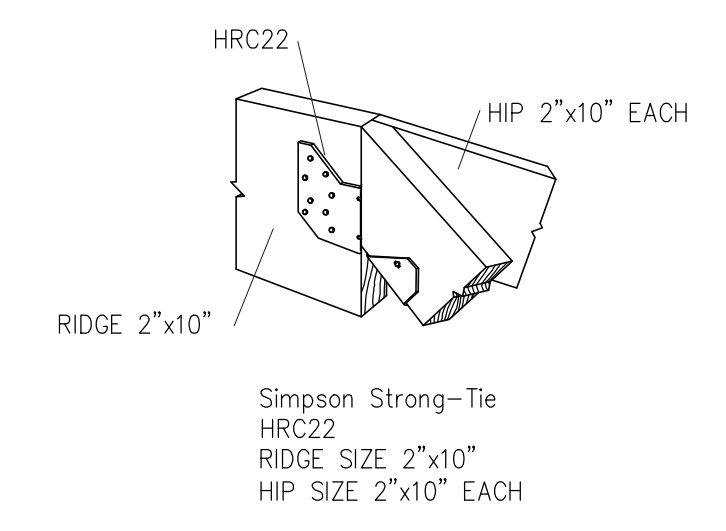
F-7 CONNECTION OF MULTIPLE PIECES
DETAIL F-7 SEE FLR. PLANS



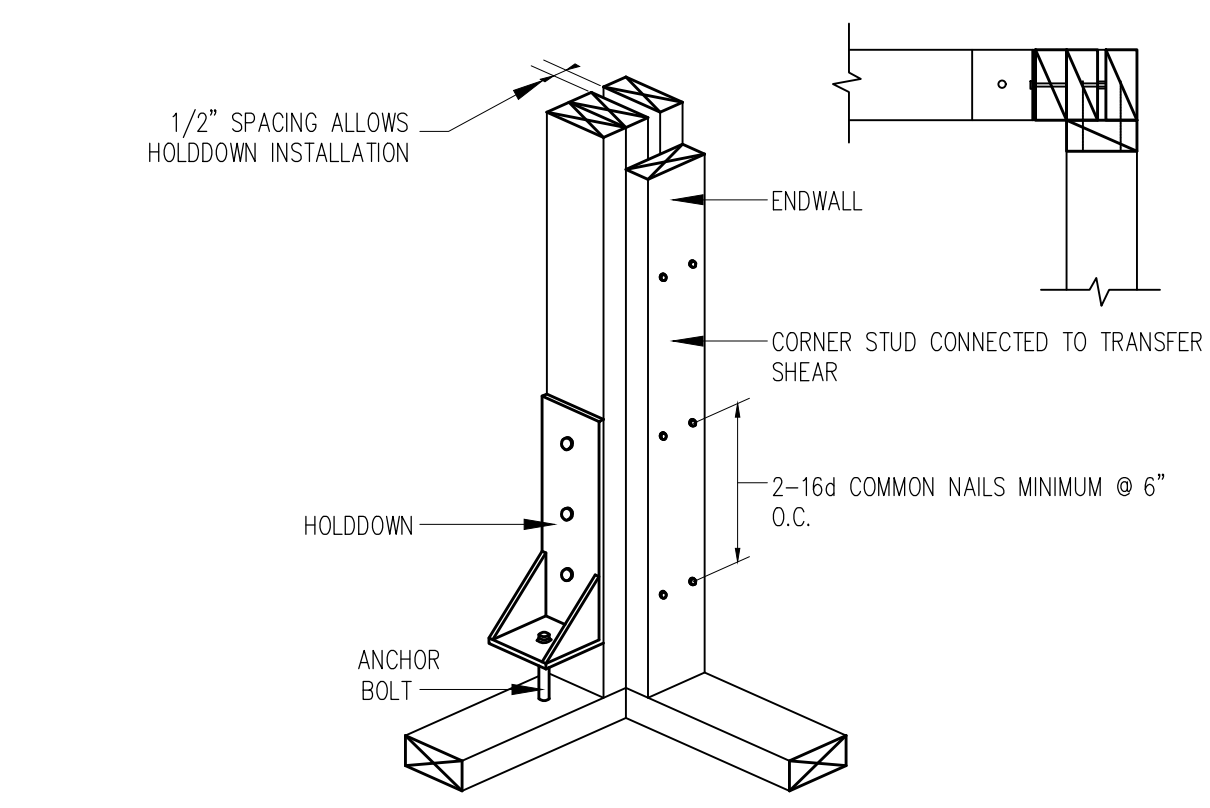
F-8 FLUSH ATTACHMENT W/ HDR.
DETAIL F-8 SEE PLANS



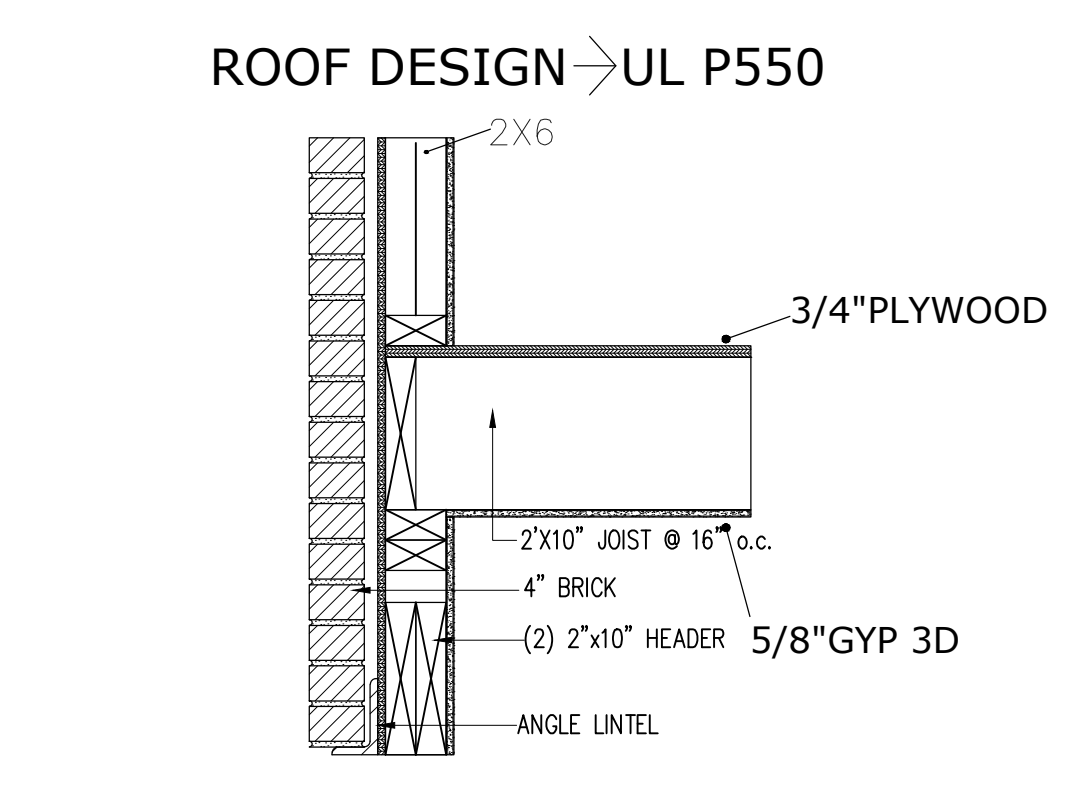
F-9 CONNECTION OF MULTIPLE PIECES + STL PLT.
DETAIL F-9 SEE FLR. PLANS



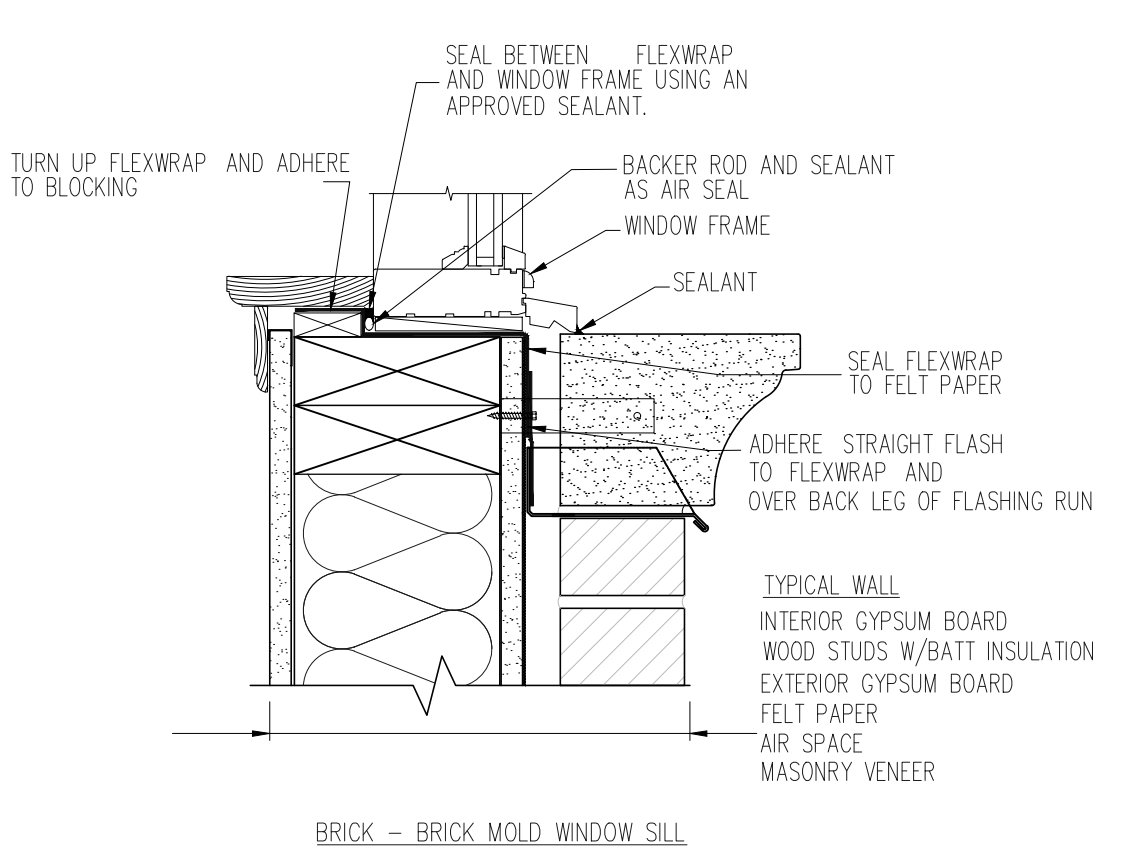
F-7 HIP RIDGE CONNECTOR
DETAIL F-7 SEE PLANS



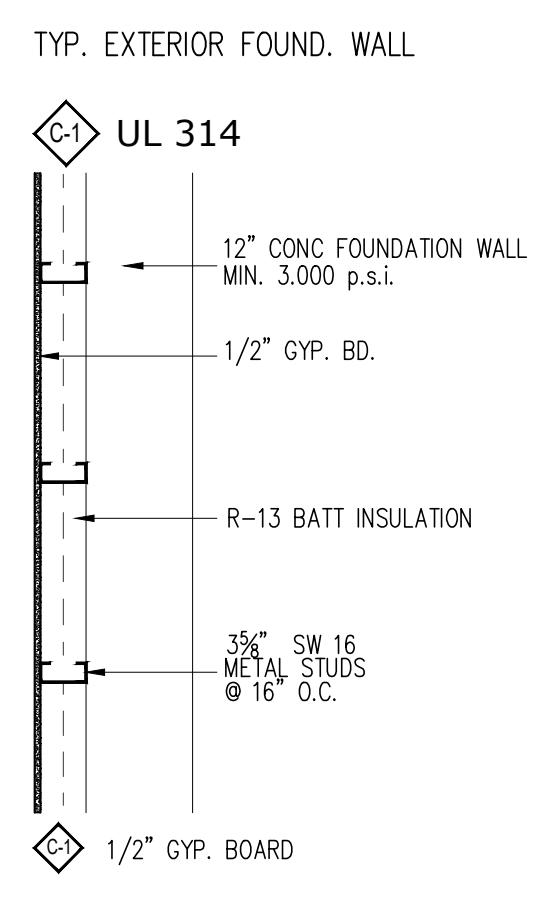
C-3 CORNER STUD HOLDDOWN
DETAIL C-3



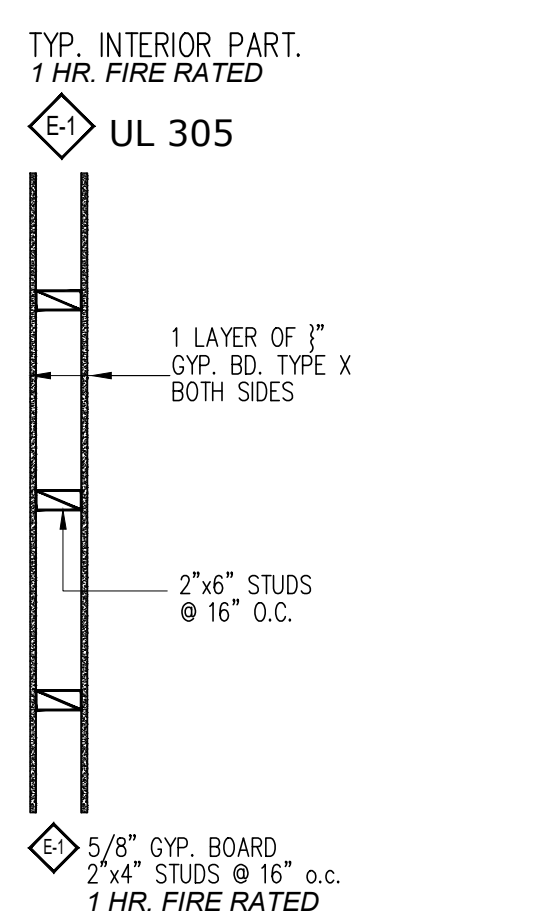
A BUILT-UP 4\"/>



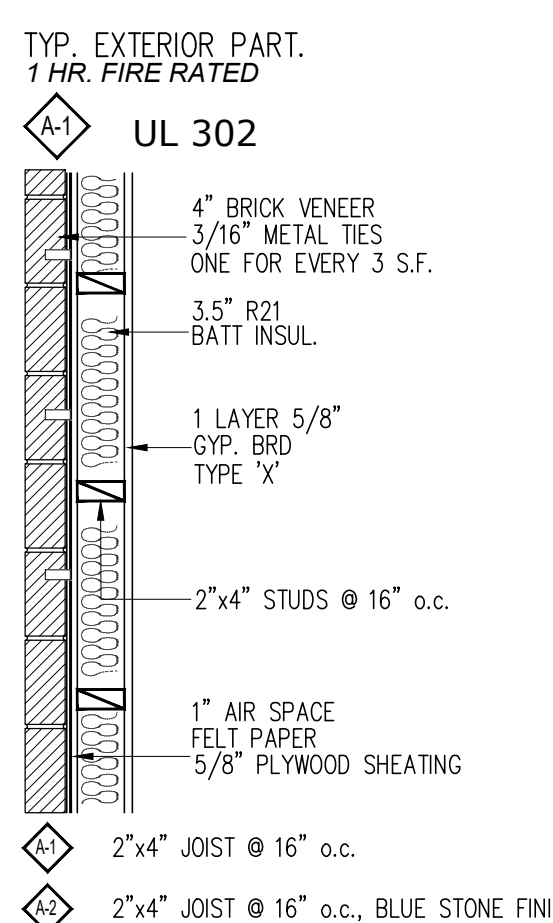
T TYPICAL MOLD DETAIL
ALL EXT. WINDOWS



W TYPICAL WALL DETAIL
PER TABLE 3-4 B.C.



E-1 TREAD/RISER DIAGRAM
DETAIL E SEE FLR. PLANS



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FRAMING DETAILS

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REGISTERED ARCHITECT
DATE: PROJECT No.: DRAWING BY: CHECKED BY: DWG. No.:
A-006.00
SHEET No. 11 OF 13

REFERENCE STANDARDS

ALL INFORMATION AND SPECIFICATION WITHIN THESE DOCUMENTS REFLECTS NORMAL BUILDING AND REFERENCES THE FOLLOWING PUBLICATIONS:

- BUILDING CODE OF NEW YORK STATE 2022ed
- RESIDENTIAL CODE OF NEW YORK STATE 2022ed
- FIRE CODE OF NEW YORK STATE 2022ed
- AMERICAN FOREST AND PAPER ASSOCIATION WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS
- ENERGY CONSERVATION CONSTRUCTION CODE 2022ed

FRAMING NOTES

- AS SPECIFIED WITHIN THESE DOCUMENTS, ALL EXTERIOR WALLS WILL BE CONSTRUCTED AS TYPE 1 SHEAR WALLS AS DEFINED BY THE AMERICAN FOREST AND PAPER ASSOC. WOOD FRAME CONSTRUCTION MANUAL SECTION 3.4.4.2
- ALL LOAD BEARING NUMBER SHALL BE OF DESIGN TIMBER STRESS -FB+852, E=1,700,000 PSI DOUGLAS FIR LANCH N°1
- ALL SHEATING AND SUB-FLOORING TO BE STRUCTURAL GRADE PLY/WOOD THICKNESSES OF EXTERIOR SHEATING TO BE 3/4" MIN AND 3/4" MIN FOR SUB FLOORING UNLESS OTHERWISE NOTE
- EXTERIOR MAILING IN EXPOSED EXTERIOR WOOD, SHALL BE ALUMINUM OR GALVANIZED
- PROVIDE CROSS-BRIDGING OR SOLID BRACING @ 8'-0" O.C. MAXIMUM FLOORS CEILING, AND ROOFING
- JOISTS SUPPORTING PARALLEL PARTITIONS, SPACED APART TO PERMIT THE PASSAGE OF PIPING OR DUCT WORK, ARE TO BE LOCKED AT MAXIMUM 16" INTERVALS ON BEARING PARTITIONS AND 32" INTERVALS ON NON BEARING PARTITIONS
- PROVIDE FIRE STOPPING AS REQUIRED IN COMPLIANCE WITH THE FIRE CODE OF NEW YORK STATE
- PROVIDE DOUBLE JOISTS OR FULL WITHIN SOLID BLOCKING UNDER ALL POSTS, PARTITIONS AROUND ALL OPENINGS ASKYLIGHTS BATHTUBS AND HEAVY APPLIANCES OR FIXTURES
- MICROLAM BEAMS DESIGNATED WITH ML OR LVL NOTATION SHALL HAVE A MINIMUM WIDTH OF 1 3/4" PER NUMBER WITH A MINIMUM FLEXURAL STRESS OF 2800 PSI
- DOUBLE BEAMS, OF STANDARD NUMBER SHALL BE NAILED TOGETHER WITH 15D NAILS @16" OC AROUND PERIMETER OF BEAM PROVIDE MIN. OF 2" CLEARANCE TO EDGES TRIPLE BEAMS TO BE NAILED TOGETHER FROM BOTH SIDES ALL OTHER BEAMS TO BE THRU BOLTED WITH THE SAME PATTERN
- WHERE JOIST HANGERS AND OTHERS STEEL FRAME CARRIERS ARE INDICATED CONTRACTOR TO PROVIDE AND UTILIZE THE PROPER SUNK AND/OR ANNUAL RING NAILS AS RECOMMENDED BY THE HANGER MANUFACTURER TO INSURE THE APPROPRIATE SHEAR AND WITHDRAWAL CAPACITY OF THE FASTENERS
- PROVIDE A MIN OR 2" CLEARANCE AROUND FIRE PLACES FOR COMBUSTIBLE FRAMING
- DOUBLE PLATES AND SILLS SHALL BE LAPPED AT A MIN OF 3/4 OF THE TOTAL LENGTH OF THE WALL
- PROVIDE CATS AT ALL EXTERIOR AND BEARING WALLS AND ALL WALLS OVER 8 FEET HIGH ALL STUD FRAMING HAVING AN UNSUPPORTED HEIGHT OF MORE THAN 10'-0" IS TO HAVE STUD BRIDGING OR OTHERWISE BE BRACED IN AN APPROVED MANNER AT INTERVALS NOT EXCEEDING 8'-0" NO WALL STUDS MAYBE LONGER THAN 11'-2"
- DOUBLE FULL STUDS TO BE SISTERED TO JACK STUDS AROUND OPENINGS IN EXTERIOR WALLS AND BEARING PARTITIONS ALL HEADERS UNDER 3'-0" TO HAVE SINGLE JACK STUDS UNDER 8 FEET DOUBLE JACK STUDS 8 FEET AND OVER TO HAVE TRIPLE JACK STUDS
- ALL INTERIORS DOORS TO BE 1-3/4" HOLLOW CORE LUAN VENEERED WITH APPROPRIATE HARDWARE CONTRACTOR SHALL STIPULATE AN ALLOWANCE FOR ALL LOCKSETS
- ALL HEADERS NOT SHOWN IN PLANS TO BE A MIN OF (2) 2X8 FOR SPANS UP TO 2'-0" (2) 2X10 FOR SPANS UP TO 6'-0" AND (2) 2X12 FOR SPANS UP TO 8'-0" HEADERS OVER 8'-0" IN LENGTH AS WELL AS ANY HEADERS WITH BEAMS OR OTHERS BEARING ON THEM SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT TO DETERMINE THE APPROPRIATE SIZE AND STRENGTH
- STUDS TO ALING WITH ROOF RAFTERS WHEREVER POSSIBLE
- 2X6 COLLAR TIES TO BE PROVIDED AT EVERY ROOF RAFTER WHEN CEILING JOISTS
- PROVIDE (3) 1" VENT HOLES AROUND SKYLIGHTS
- INS ALL SHIMS TO PROVIDE ROOF PITCH UNDER SHEATING AND PERPENDICULAR TO THE ROOF JOISTS TO PROVIDE FOR ROOF VENTING IN FLAT ROOF AREAS
- BEFORE FRAMING STAIR OPENINGS VERIFY MINIMUM HEAD HEIGHT CLEARANCES C.F. 7-0
- ALL RISERS TO BE A MAXIMUM OF 8 3/4" AND ALL TREADS TO BE A MAXIMUM OF 9" IN DEPTH WITH A NOSING BETWEEN 3/4" AND 1 1/4" PROJECTION RISERS AND TREADS SHALL NOT DEVIATE MORE THAN 3/8" THROUGHOUT THE ENTIRE RUN MINIMUM WIDTH OF STAIRS TO BE 36"
- ALL WINDERS AND SPIRAL STAIRS TO COMPLY WITH THE NEW YORK STATE RESIDENTIAL BUILDING CODE
- ALL HANDRAILS AND GUARDRAILS SHALL BE 36" HIGH AND MUST BE PROVIDED AROUND ALL SURFACES WHICH ARE 18" OR HIGHER THAN ADJACENTSURFACES AND FOR ALL STAIRS OF 2 RISERS OR GREATER
- TERMITES SHIELDS AND SILL SEALER TO BE PROVIDED FOR ALL NEW LEAKAGE
- NEW YORK SHALL THE IN AND LAP INTO EXISTINGS AS TO PREVENT LEAKAGE
- ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED
- USE WATERPROOF MEMBRANE FLASHING ALL OUTSIDE DOORS ANS WINDOWS
- FLASHING TO BE PROVIDED AT ALL ROOF PENETRATIONS PIPES VENTS SKYLIGHTS CHIMNEYS AND ROOF VENTILATORS FLASHING TO BE PROVIDED AT HIPS RIDGES VALLEYS CHANGE OF ROOF SLOPE GABLE ENDS AND TOP OF FOUNDATION WALLS ALL ROOF INTERSECTIONS TO HAVE FLASHING TO EXTEND 8" IN EACH DIRECTION ALL FLASHING TO BE ALUMINUM UNLESS OTHERWISE NOTED
- ALL INTERIOR LEADERS ARE TO HAVE 3/4" FOAM SOUND INSULATION
- INSULATION SHALL BE FIBERGLASS BATTES FOR ONE STORY UNLESS OTHERWISE NOTED THICKNESS AS SHOWN OR DRAWINGS STAPLE PADS ON FOIL OVER FRAMING

LOAD TABLES

	LIVE LOAD	DEAD LOAD
ROOFS	45 LBS PER SOFT	20 LBS PER SOFT
UNCOVERED DECKS-BALCONIES	60 LBS PER SOFT	20 LBS PER SOFT
CEILING W/O ATTIC	10 LBS PER SOFT	15 LBS PER SOFT
CEILING W/TH ATTIC	35 LBS PER SOFT	15 LBS PER SOFT
FLOORS	40 LBS PER SOFT	20 LBS PER SOFT
STAIRS	45 LBS PER SOFT	20 LBS PER SOFT
RAILINGS	200 LBS PER SOFT	

NAILING SCHEDULE

LOCATION	NAIL TYPE AND SPACING
ASPHALT ROOFING SHINGLES	(3) 12ga x 3/4" GALV ROOFING PER SINGLE (6) 12ga x 3/4" GALV ROOFING PER STRIP
SINDING ALUMINUM OR VINYL	8D PER STUD
ROOF RAFTER TO RIDGE	3-16 D
ROOF RAFTER TO RIDGE BEAM OR LEDGER	(2) SIMPSON H8 STAGGERED W/5-100X1 1/2
ROOF RAFTER TO SIDE OF STUD OR ROOF RAFTER	(1) 1/4" x 3/8" WOOD SCREWS PER FOOT OF ROOF SPAN
ROOF RAFTER OR CEILING JOIST TO TOP PLATE	3-16 D
CT AT EVERY OR CEILING JOIST TO TOP PLATE	12-1" x 4X3 WOOD SCREWS
CJ TO RR W/O CT @ EVERY RR	6-1" x 4X3 WOOD SCREWS
CJ TO RR W/O CT @ EVERY RR	6-1" x 4X3 WOOD SCREWS
TOP PLATE TO TOP PLATE	4-16 D
TOP PLATE TO TOP PLATE @ CORNERS	2-16 D
TOP OR BOTTOM PLATE TO STUD	2-16 D
BOTTOM PLATE TO JOISTS	2-16 D
STUD TO SUIT	2-16 D @ 24" OC
DOUBLE RR BEAMS AND HEADERS	16D @16" OC AROUND PERIMETER
JOIST TO SILL TOP PLATE OR ORDER	4-16 D
LEDGER TO BEAM OR STUDS	3-16 D
JOIST ON LEDGER TO BEAM OR STUDS	3-16 D
BAND TO JOIST TO JOIST	3-16 D
BAND TO JTOP PLATE	2-16 D
SHEATHING/SUB FLOORING	8 D @12 OC EDGE @12 OC FIELD
HEADER TO STUDS	4-16 D
BLOCKING	2-16 D
SHEETROCK	5 D COOLERS @7" OC EDGE @10 FIELD
ANCHOR BOLTS(CRAWLSPACE OR BASEMENT)	#4 @72 OC (1 STORY) @36 OC (2 STORY)
ANCHOR BOLTS(SLAB ON GRADE)	#4 @24" OC (3 STORY) #4 @40" OC (110 MPH ZONES) #4 @33" OC (120 MPH ZONES)

DESIGN CRITERIA

THE FOLLOWING SPECIFICATIONS ARE THE STANDARD VALUES OF THIS OFFICE, EACH OF THESE VALUES MEETS OR EXCEEDS THE REQUIREMENTS OF THE NYS RESIDENTIAL BUILDING CODE, PRESCRIBED FOR THE PROJECT HEREIN

LOCATION	WINTER DESIGN DRY BULB TEMP	SUMMER DESIGN DRY BULB TEMP	CONDICENT WET BULB TEM.	HEATING DEG. DAYS	ZONE	WIND SPEED 3 SECOND FASTEST MILE	SEISMIC DESIGN CAT	GROUND SHOW LOAD	FROST LINE	ICE CATERING DAMAGE	TERMITES	DECAY DAMAGE	EXPOSURE CATEGORY	UPLIFT LOADS	WINDBORNE DEBRIS ZONE	FLOOD ZONE	SP. RATINGS MINIMUM PROVIDED	DOOR AND WINDOW LOADS AS PER TABLE R301.2(2)&(3)	SKYLIGHT IMPACT RESISTANCE
NASSAU/SUFFOLK	13 deg	89 deg	73 deg	4910	11b	110 mph	C	45 lbs/sqft	3'-0" to 4'-0"	SEVERE	MODERATE TO HEAVY	MODERATE	B	HARBOR/SEE AMERICAN FOREST AND PAPER WOOD FRAME MANUAL	NO	NO	22-30	N/A	N/A

*120 MPH WIND ZONE, THESE LOCATIONS INCLUDE: THE TOWNS OF EAST HAMPTON, SHELTER ISLAND, SOUTHAMPTON, SOUTHOLD, AND THE VILLAGES OF DERING HARBOR, EAST HAMPTON, GREEN PORT, NORTH HAVEN, QUOGUE, SAG HARBOR, SOUTHAMPTON, SOUTHOLD, WEST HAMPTON BEACH.

ENERGY CONSERVATION CONSTRUCTION CODE

THE FOLLOWING SHOWS COMPLIANCE WITH ECOCNYS REQUIREMENTS ON A COMPONENT PERFORMANCE APPROACH (ECOCNYS SECT 402.1 & SECT 502.1)

AS PER THESE REQUIREMENTS AND ALL OF THE BUILDING COMPONENTS PRESCRIBED ON THE PLANS CONCLUDE WITH EACH OF THESE METHODS

REQUIREMENTS AS PER TABLE 502.2 FOR ZONE 1b

COMPONENT	VALUE REQUIRED	VALUE PROVIDED	COMMENTS
DOORS	U=0.35 max	U=0.35	AS PER OWNER/CONTRACTOR
WINDOWS/PATIO DOORS	U=0.35 max	U=0.35	AS PER OWNER/CONTRACTOR
WALLS	U=0.14 max	U=0.14	PASSES
ROOF/CEILING	U=0.031 max	U=0.031	PASSES
FLOORS	U=0.05 max	U=0.05	WHERE APPLICABLE
HEATED SLAB	R=6.5 max	R=6.5	WHERE APPLICABLE
UNHEATED SLAB	R=4.5 max	R=4.5	WHERE APPLICABLE
CELLAR/BASEMENT WALLS	U=0.10 max	U=0.08	WHERE APPLICABLE
DRINK SPACE WALLS	U=0.06 max	U=0.05	WHERE APPLICABLE

FRAMING DETAILS AND NAILING SCHEDULE

ALL LOAD PATHS FROM FOUNDATION TO ROOF ARE CONTINUOUS AND AT EVERY WALL STUD

ALL WOOD MEMBERS SPECIFIED HEREIN REFER TO SIMPSON STRONG-TIE PRODUCTS, EACH OF THE CONNECTIONS SHOWN REFLECT TYPICAL CONDITIONS AND ARE ONLY APPLICABLE WHEREVER NECESSARY

SECTION OF EXISTING ROOF SYSTEM TO BE REMOVED

SHED ROOF CONNECTION TO EXISTING ROOF OR WALL STUD

USE THE SAME CONNECTION METHOD FOR JACK RAFTERS CONNECTING TO HIPS AND VALLEYS

FLITCH PLATE DETAIL

VARIOUS CONDITIONS SHOWN

FLITCH NOTCHING AND DRILLING DETAIL FOR WOOD FRAME MEMBERS

SECTION ELEVATION

SECTION OF EXISTING ROOF SYSTEM TO BE REMOVED

SHED ROOF CONNECTION TO EXISTING ROOF OR WALL STUD

USE THE SAME CONNECTION METHOD FOR JACK RAFTERS CONNECTING TO HIPS AND VALLEYS

ALL DIMENSIONS TO BE FIELD

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REVISIONS	DATE	BY

DeFONSECA ARCHITECTS

125-10 Queens Blvd.
Kew Gardens, NY 11415
TEL: (718) 650 5580
DeFonseca@aol.com

PROJECT

PROPOSED 1 FAMILY DWELLING

82-46 166th STREET
JAMAICA NY 11432

WOOD FRAMING DETAILS

SEAL & SIGNATURE

REGISTERED ARCHITECT
JAMES CARLOS DeFONSECA
019488
STATE OF NEW YORK

DATE: _____
PROJECT No.: _____
DRAWING BY: _____
CHECKED BY: _____
DWG. No.: **A-007.00**

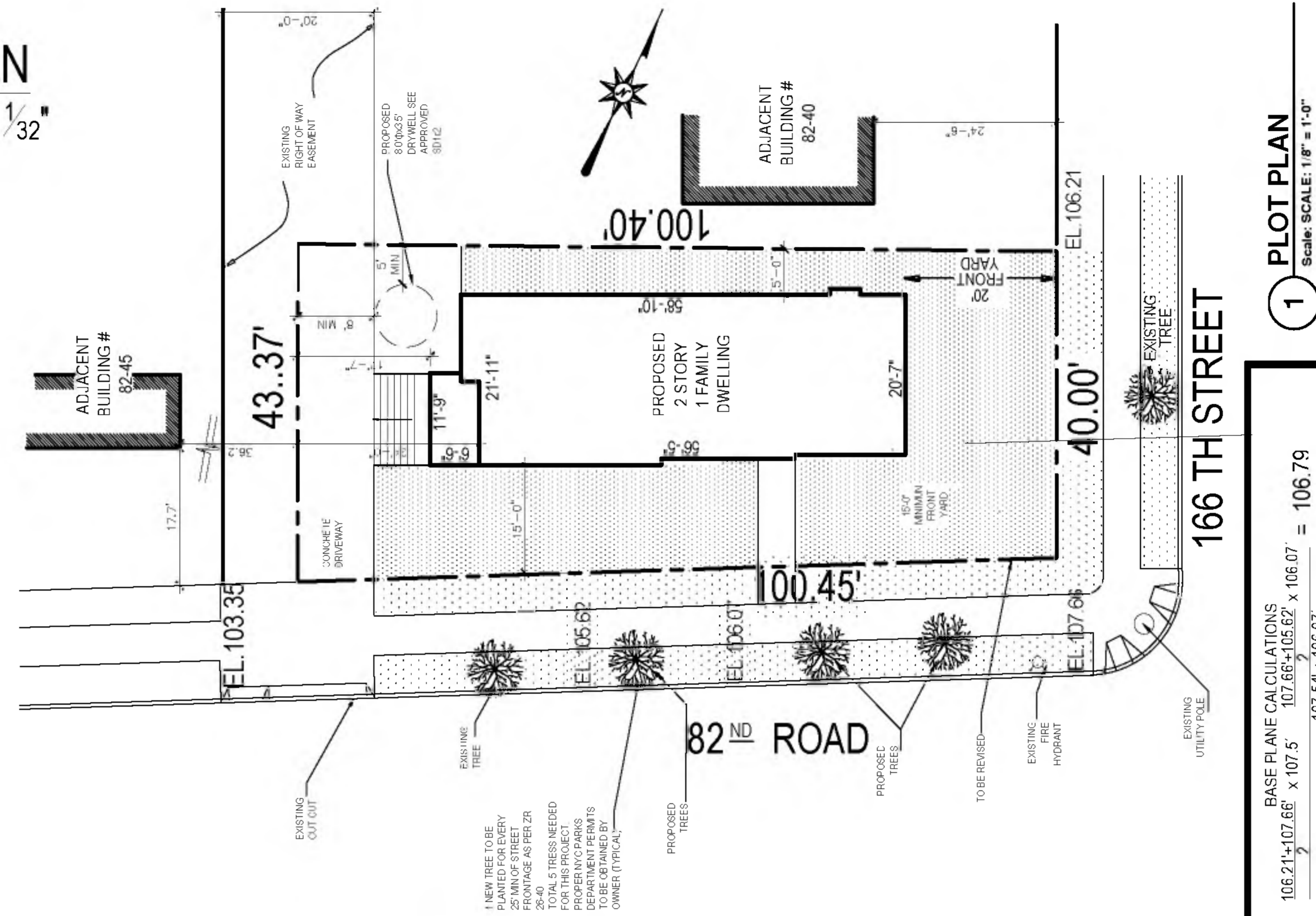
SHEET No. **12** OF **13**

ZONING INFORMATION

LOT AREA:	4.18438#		
YARDS:	REQUIRED	PROP.	ZONING SECTION
FRONT:	15' MIN (ALIGN W/ADJACENT)	15'-20'	23-45
REAR:	NON-REQ CORNER LOT		
REAR:	EQUIVALENT MIN 20' REQ'	30'-10" PROV.	23-631
SIDE	3' MIN	5' PROP.	23-461
BUILDING HEIGHTS			
	MAX	PROVIDE	ZONING SECTION
PERIMETER WALL	21'	20'-5"	23-631
BUILDING HEIGHT	35'	30'-1 1/2"	23-631

PLOT PLAN

SCALE: 1'-0" = 1/32"



ZD1 Zoning Diagram

Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

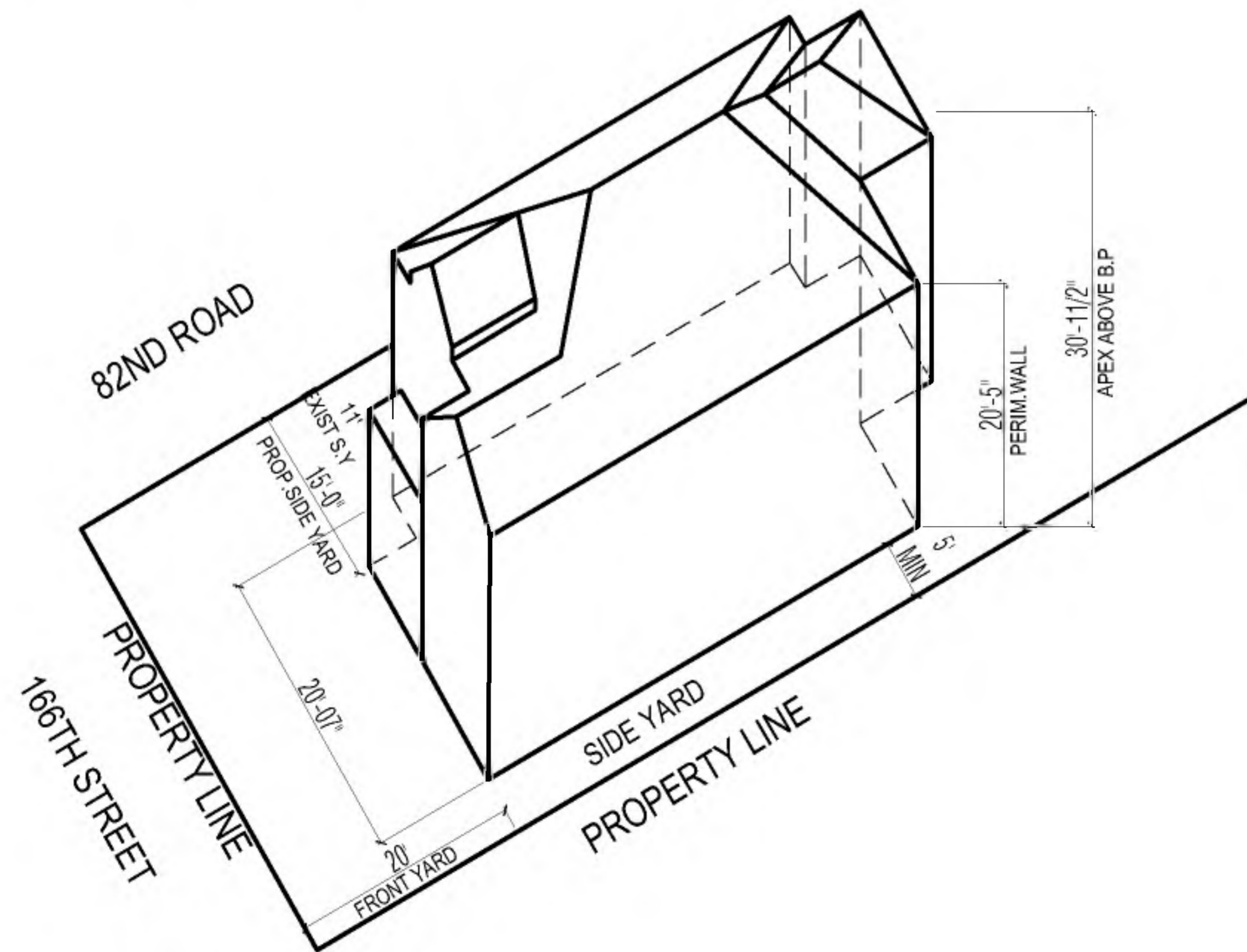
Yes No

Location Information

House No(s) 82-46
 Street Name 166TH STREET
 Borough QUEENS
 Block 7040
 Lot 1
 BIN 4152409

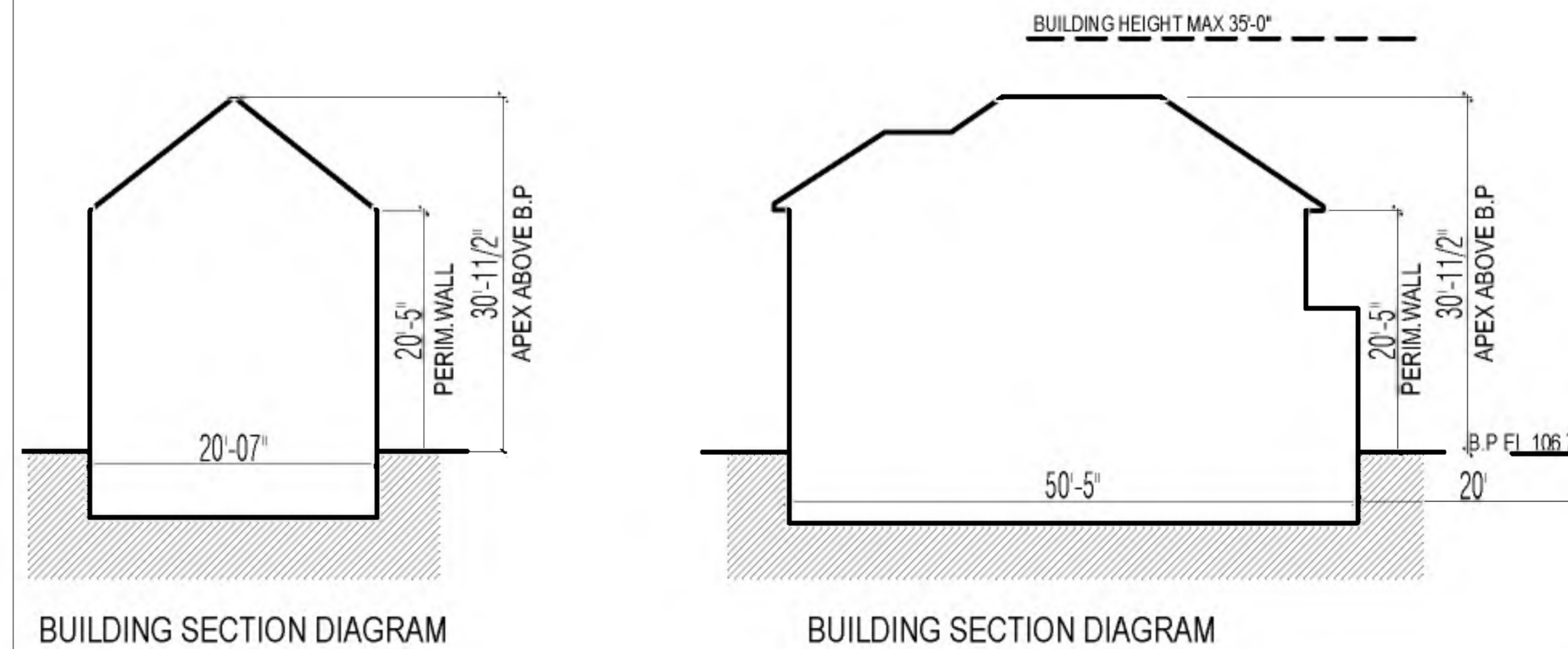
AXONOMETRIC DIAGRAM

SCALE: NOT TO SCALE



SECTION DIAGRAM

SCALE: NOT TO SCALE



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Name (please print)

Signature _____ Date 8/31/20



P.E. / R.A. Seal - (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE 13 OF 13