# BUILDING DEPARTMENT NOTES

- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS BEFORE ANY CONSTRUCTION WORK IS STARTED
- AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER PRIOR TO COMMENCEMENT OF ANY WORK SEC. C26-118.5
- LINTELS SUPPORTING MASONRY WALLS OVER 4'-0" SHALL BE FIRE PROTECTED WITH MATERIALS HAVING THE REQUIRED FIRE RESISTIVE RATING OF THE WALL SUPPORTED SEC. C26-502.4. SUSPENDED CEILINGS SHALL HAVE HANGERS AND SUPPORTING GRIDS OF NON-COMBUSTIBLE MATERIALS, SEC
- C26 504.12INTERIOR FINISHES TO COMPLY WITH SEC. C26-504.10 AND TABLE 5-4. ALL PARTITIONS ENCLOSING TENANT SPACES AND EXIT CORRIDORS SHALL BE CONSTRUCTED OF 5/8" SHEET
- ROCK FIRE CODE "C" TWO LAYERS ON EACH SIDE OF 3 5/8" METAL STUDS. PARTITIONS SEPARATING TENANTS AND PUBLIC HALL PARTITIONS SHALL BE CARRIED THRU TO UNDERSIDE OF ROOF ABOVE. WHERE NON-COMBUSTIBLE PIPES AND CONDUITS PASS THROUGH RATED CONSTRUCTION. THE AREA OF SUCH
- OPENING MAY NOT EXCEED 25 SQ. IN. IN ANY 100 SQ, FT. OF WALL OR FLOOR AREA. THE SPACE BETWEEN THE PIPE AND ITS SLEEVE OR OPENING MAY NOT EXCEED 1/2" AND WILL BE PACKED WITH NON-COMBUSTIBLE MATERIAL SUCH AS MINERAL WOOL SEC. 27-343. CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, ETC., THAT
- WOULD PERMIT PASSAGE OF FLAME, SMOKE, FUMES, OR HOT GASES FROM ONE FLOOR TO ANOTHER, OR FROM ONE CONCEALED AREA TO ANOTHER, SHALL BE FIRESTOPPED TO FORM AN EFFECTIVE DRAFT BARRIER OR SHALL BE FILLED WITH NON-COMBUSTIBLE MATERIAL. SEC. 27-345. PLUMBING VENTS SHALL EXTEND ABOVE ROOF AS PER SEC. P109.4(A).
- ALL ELECTRICAL OUTLETS TO MEET ALL REQUIREMENTS OF THE NYC ELECTRICAL CODE.
- THE CONTRACTOR MUST OBTAIN A CERTIFICATE OF OCCUPANCY UPON COMPLETION OF ALL WORK ON THIS
- PLAN TO COMPLY WITH THE BUILDING CODE SUB ARTICLE 121.0 CONTROLLED INSPECTION ITEMS: THE FOLLOWING ITEMS OF WORK SHALL BE SUBJECT TO CONTROLLED INSPECTION MADE WITNESSED BY OR UNDER DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER RETAINED BY
- THE OWNER WHO SHALL BE ACCEPTABLE TO THE ARCHITECT. A. TEST REPORT AND CERTIFICATE OF INSPECTION SHALL BE FILED WITH THE BUILDING DEPARTMENT. B. ALL MATERIALS, ASSEMBLIES AND METHOD OF CONSTRUCTION REGULATED BY THE CODE AND NOT LISTED ABOVE SHALL BE SUBJECT TO SEMI CONTROLLED INSPECTION BY THE PERSON SUPERINTENDING THE
- CONSTRUCTION. C. SIGNED COPIES OF ALL TESTS AND INSPECTION REPORTS SHALL BE FILED THROUGH THE ARCHITECT WITH THE DEPT.
- DUCT FIRE RETARDING DUCTS TO BE FIRE RETARDED AS PER PLANS AND TO BE FIRESTOPPED AT EACH TIER WITH 2" MINERAL WOOL. MAINTAIN 1/2" CLEARANCE BETWEEN DUCTS AND SHEETROCK.
- A. ADMINISTRATION
- 1. SHALL MEET THE FOLLOWING REQUIREMENTS:
  - a.) IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD, OR
  - b.) SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS BY THE
  - COMMISSIONER, OR c.) APPROVED BY THE BOARD OF STANDARDS AND APPEALS, OR BY THE M.E.A. DIVISION OF THE
- BUILDING DEPARTMENT. 2. AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER BEFORE THE
- COMMENCEMENT OF WORK.
- B. INSPECTION REQUIREMENTS 1. THE FOLLOWING ITEMS OF WORK SHALL BE SUBJECT TO CONTROLLED INSPECTION, MADE AND WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER RETAINED BY THE OWNER WHO SHALL BE ACCEPTABLE TO THE ARCHITECT. TEST REPORT AND CERTIFICATE OF INSPECTION SHALL BE FILED WITH THE BUILDING DEPT.
  - a.) FIRESTOPPING [504.7 (G)]:
  - 1.) HOLLOW PARTITIONS AND FURRED SPACES
- 2.) DUCT AND PIPE SPACES 2. ALL MATERIALS, ASSEMBLIES AND METHODS OF CONSTRUCTION REGULATED BY THE CODE AND NOT LISTED ABOVE SHALL BE SUBJECT TO SEMI SIGNED COPIES OF ALL TEST AND INSPECTION REPORTS SHALL BE FILED CONTROLLED INSPECTION BY THE PERSON SUPERINTENDING THE CONSTRUCTION. THROUGH THE ARCHITECT WITH THE BUILDING DEPT.
- C. FIRE PROTECTION CONSTRUCTION REQUIREMENTS 1. ALL MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH THE FOLLOWING:
  - a.) IT SHALL CONFORM WITH THE NFBU "FIRE RESISTANCE RATING", OR b.) IT SHALL HAVE BEEN TESTED IN ACCORDANCE WITH THE ASTM E-199 "STANDARD METHODS
  - OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS" AND ACCEPTED BY THE COMMISSIONER, OR
  - c.) IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF OF THE CODE.
- 2. OPENING PROTECTIVES INCLUDING FRAMES, SELF-CLOSING DEVICES AND HARDWARE SHALL COMPLY WITH ASTM E-108, "STANDARD METHODS OF FIRE TEST OF DOOR ASSEMBLIES" AND ASTM E-163.
- 3. INTERIOR FINISH: MATERIAL SHALL BE CLASSIFIED IN ACCORDANCE WITH THE SURFACE FLAME-SPREAD RATING OBTAINED AS PRESCRIBED IN ASTM E-84 "STANDARD METHOD OF TEST FOR SURFACE BUILDING CHARACTERISTICS OF BUILDING MATERIALS." THE CLASSES OF THESE SCHEDULES: INTERIOR FINISH SHALL BE GROUPED INTO
- INTERIOR FINISH CLASS / FLAME SPREAD CLASS 0 - 2526-75
- 76-225 **OVER 225** INTERIOR FINISH EXCEPT FINISH FLOORING AND FLOOR COVERING, WALL COVERINGS LESS THAN 0.036"
- IN TOTAL THICKNESS, SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN THAT LISTED.

### SPECIAL NOTES

- 1. THE OWNER/CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE PLANS, INCLUDING FIELD CONDITIONS, CONSTRUCTION DETAILS AND OR
- SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. 2. THE BUILDING SHALL BE SUFFICIENTLY BRACED AT ALL TIMES DURING THE
- COURSE OF CONSTRUCTION TO SATISFY RAIN, SNOW OR WIND LOADS.
- 3. CONTRACTOR TO PERFORM TEST PITS TO VERIFY THE DEPTH OF FOOTINGS OF THE ADJACENT BUILDINGS. CONTRACTOR TO SUBMIT THE DEPTH (ELEVATION) OF THE FOOTINGS TO THE ARCHITECT.
- 4. CONTRACTOR TO MONITOR ALL EXCAVATION USING MECHANICAL EQUIPMENT. NO USE OF MECHANICAL EQUIPMENT WITHIN 3'-0" OF ADJACENT FOUNDATION.
- 5. WITHIN 3'-0" OF ADJACENT FOUNDATION TO BE EXCAVATED BY HAND AND
- REPAIR ADJACENT FOUNDATION AS REQUIRED TO INSURE STRUCTURAL STABILITY OF ADJACENT BUILDING.

# FLOOD DATA COMPLIANCE

THESE PLANS ARE IN COMPLIANCE WITH APPENDIX G OF 2014 NYC BUILDING CODE

MODULAR CONSTRUCTION NOTE

THIS IS NOT A PRE-FRABRICATED BUILDING NOR DOES IT INCLUDED MODULAR CONSTRUCTION .

### CONSTRUCTION TYPE

1	Building height Building area		s shown in f	OWABLE BU eet above gra square feet,	de plane. St	HTS AND AP	ns shown as			ne.
	naneni el regene Stevene de			NEW CONTRACTOR OF CONTRACT	TYPE	OF CONSTRU	CTION			
		TY	PE I	TY	PE II	TYP	ЕШ	TYPE IV	TYP	PE V
	2.Websee 547 - 301 -	А	B	A	в	A	8	нт	A	В
GROUP	HEIGHT (feet) HEIGHT (5)	UL	160*	65	55	65	55	65	50	40
A-1	S	UL	UL	6	3	6	3	6	3	2
	A	UL	UL	17,500	10,500	14,,700	5,600	15,000	8,400	5,500
A-2	S	UL	UL	6	3	6	3	6	3	2
	A	UL	UL	17,500	9,500	14,000	5,600	15,000	8,400	5,500
I-4	S	UL	UL	3	3	3	3	3	2	2
	A	UL	UL	26,500	9,500	23,500	5,600	25,500	8,400	5,500
М	S	UL	UL	6	3	6	3	6	3	2
	A	UL	UL	21,500	7,500	18,500	5,600	14,000	8,400	5,500
R-1	S	UL	UL	0	NP	6	NP	6	NP	NP
	A	UL	UL	UL	NP	24,000	NP	20,500	NP	NP
R-2	S	UL	UL	0	NP	6	3	6	NP	NP
	A	UL	UL	UL	NP	24,000	5,600	20,500	NP	NP
R-3	S	UL	UL	6	3	6	3	6	3	3
	A	UL	UL	17,500	10,500	14,700	5,600	30,000	8,400	5,500

LE	GEND		SCOF	PE OF WORK			SYMBOL	LS
		NEW POURED CONCRETE FOUNDATION WALL @ PROPERTY LINE AND FOOTING (4000 PSI MIN.) @ PROPERTY LINE (R—7.5ci CLOSED CELL FOAM INSULATION)		SED NEW FOUR (4) STORY WITH CELLAR; SIX		USE BUILDING OUP : 2	A A-5	<ul><li>INDICATES SECTION NUMBER.</li><li>INDICATES SHEET NUMBER.</li></ul>
$\langle 2 \rangle$		NEW POURED CONCRETE FOUNDATION WALL AND FOOTING (4000 PSI MIN.) (R—7.5ci CLOSED CELL FOAM INSULATION)	DRAV	VING LIST	RELATED AP	PLICATIONS		- INDICATES DETAIL NUMBER
30		12" BLOCK WALL AS PER STRUCTURAL DRAWINGS – REINFORCED C.M.U. 75% SOLID	Z-100 Z-101	ZONING INFO, LEGEND & NOTES DIAGRAMS & OCCUPANT/EGRESS ANALYSIS	DM# 421691075	DEMOLITION	A-6	<ul> <li>INDICATES DIRECTION OF VIEW</li> <li>INDICATES SHEET NUMBER</li> </ul>
~		(R-6 CLOSED CELL FOAM INSULATION) 1½" 16 GA. METAL STUDS @ 16" O.C. WITH ONE LAYER %" TYPE 'X' GYPSUM BOARD	Z-102	PLOT PLAN	NB# 421699790	6 FAMILY		<ul> <li>INDICATES VIEW NUMBER</li> <li>INDICATES SHEET NUMBER</li> </ul>
		* WITH BRICK FINISH ON FRONT EXTERIOR SIDE @1st FLR ONLY. * WITH STUCCO FINISH ON EXTERIOR SIDE	EN-100	ENERGY ANALYSIS, NOTES & THERMAL BOUNDARY	A2#Q00243903–I1	SPRINKLERS		
$\sqrt{3}$		8" BLOCK WALL AS PER STRUCTURAL DRAWINGS — REINFORCED C.M.U. 75% SOLID R—11.4ci MIN. EXTERIOR INSULATION	EN-101 EN-102	ENERGY ANALYSIS, COMCheck, PROGRESS INSPECTIONS ENERGY & DIAGRAMS	A2#	FIRE ALARM	1	INDICATES REVISION NUMBER
		1½" 16 GA. METAL STUDS @ 16" O.C. WITH ONE LAYER %" TYPE `X` GYPSUM BOARD	A-100	PROPOSED PLANS (CELLAR-1st FLR)	A3#421895729	B.P.P.		denotes elevation
40		* WITH STUCCO FINISH ON EXTERIOR SIDE 8" BLOCK WALL AS PER STRUCTURAL DRAWINGS — REINFORCED C.M.U. 75% SOLID	A-101 A-200	PROPOSED PLANS (2nd FLR-4th FLR) ELEVATIONS	ID SCP 12510-1	SD1&2	Ę.	DENOTES CENTER LINE
~		(R-6 CLOSED CELL FOAM INSULATION) 1½" 16 GA. METAL STUDS @ 16" O.C. WITH ONE LAYER 参" TYPE 'X' GYPSUM BOARD	A-300	SECTION A	Q00243779–11	CURB CUT		NEW YORK CITY APPROVED TYPE SMOKE
(4b)		8" BLOCK WALL AS PER STRUCTURAL DRAWINGS – REINFORCED C.M.U. 75% SOLID	A-301 A-400	SECTION B & SCHEDULES CELLAR–1st FLOOR LIGHTING PLAN	#29522	D.P.R.		NEW YORK CITT APPROVED TYPE SMOKE DETECTOR, CARBON MONOXIDE DETECTOR HARD WIRED
$\checkmark$		R−11.4ci MIN. EXTERIOR INSULATION (R−6 CLOSED CELL FOAM INSULATION) 1½" 16 GA. METAL STUDS @ 16" O.C. WITH ONE LAYER	A-401	2nd-4th FLOOR & BULKHEAD LIGHTING PLAN				MECHANICAL VENT 50 CFM MIN OR AS NOTED ON PLANS
$\wedge$		5%" TYPE 'X' GYPSUM BOARD 12" BLOCK WALL AS PER STRUCTURAL DRAWINGS	M-100	MECHANICAL PLANS			<b>X</b>	
4		– REINFORCED C.M.U. 75% SOLID W/ STUCCO FINISH (R–6 CLOSED CELL FOAM INSULATION)	P-100 S0E-100	RISER DIAGRAMS & DETAILS SHORING PLAN & DETAILS			AD	OUTSIDE AREA DRAIN
<u> </u>		1½" 16 GA. METAL STUDS @ 16" O.C. WITH ONE LAYER 频" TYPE 'X' GYPSUM BOARD 3频" METAL STUDS @ 16" O.C. WITH	S-100	STRUCTURAL LAYOUT (CELLAR-2nd FLR)			F.D.	FLOOR DRAIN
5		(R-13 CLOSED CELL FOAM INSULATION) ONE LAYER OF $\%$ " TYPE X GYP. BD. ON INTERIOR SIDE	S-101	STRUCTURAL LAYOUT (3rd -UPPER-ROOF)			_	
		%" DENSEGLASS, ON EXTERIOR SIDE 15# FELT OR TYVEK R—7.5ci MIN. EXTERIOR INSULATION	G-100 G-101	STRUCTURAL FRAMING DETAILS GENERAL DETAILS			$\left< 5 \right>$	WINDOW NUMBER (SEE SCHEDULE)
6		AND STUCCO FINISH NEW 2–HOUR RATED INTERIOR PARTITION – $3\%$ " 16 GA. METAL	G-102	WALL DETAILS				DOOR NUMBER (SEE SCHEDULE)
$\sim$		STUDS @ 16" O.C. WITH TWO LAYERS OF 5%" TYPE 'X' GYPSUM BOARD ON EACH SIDE. STC RATING 50 MIN.	G-103 G-104	HANDICAPPED ACCESSIBILITY MEP NOTES & DETAILS			$\mathbf{\Theta}$	ILLUMINATED EXIT SIGN
$\langle \gamma \rangle$		NEW NON—RATED NON—BEARING INTERIOR PARTITION — 3‰" 16 GA. MTL. STUDS @ 16" O.C. WITH ½" GYPSUM BOARD EACH SIDE	G-104 G-105	GENERAL NOTES			-	
8		NEW NON-COMBUSTIBLE 42" PARAPET WALL						

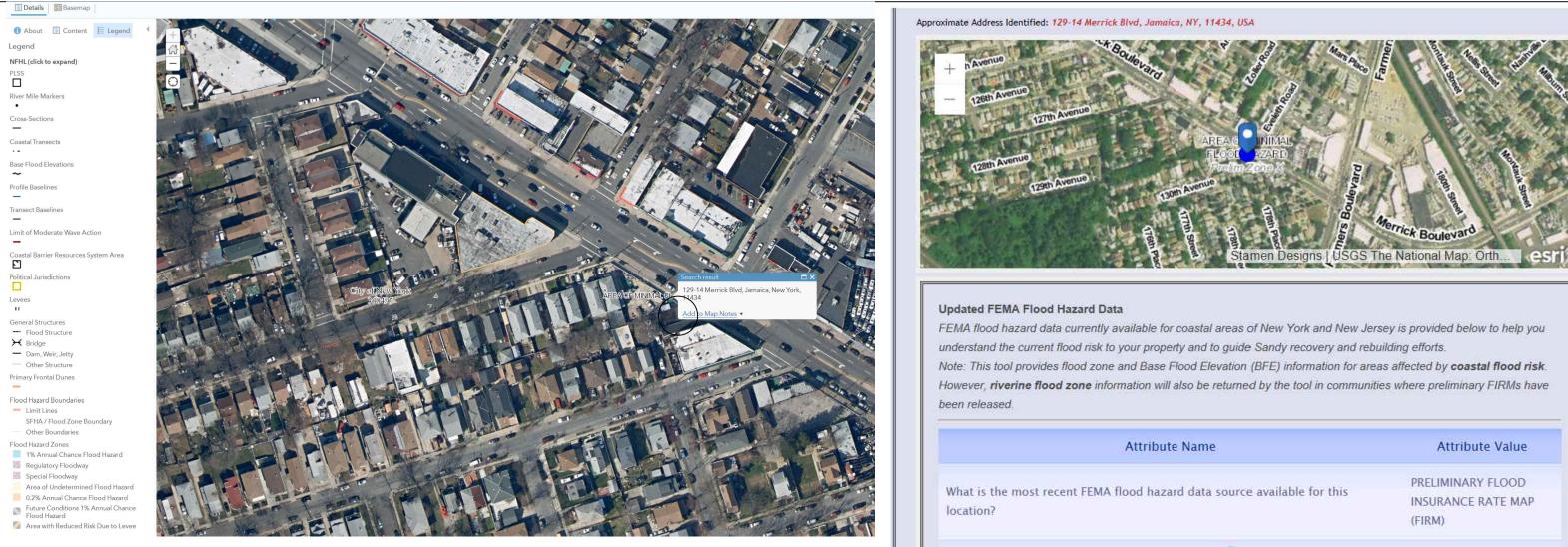
# Flood data

0 250 500

1,000

1,500

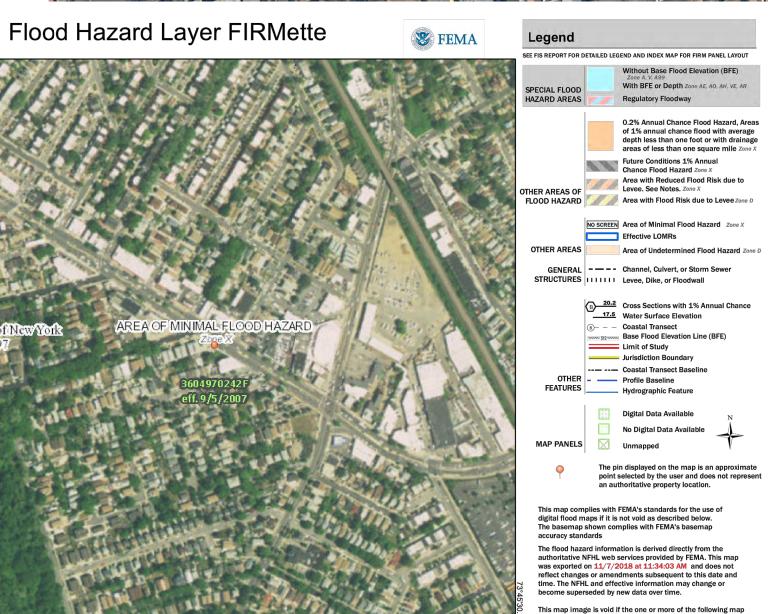
2.000



lements do not appear: basemap imagery, flood zone labe

egend, scale bar, map creation date, community identifiers FIRM panel number, and FIRM effective date. Map images for

National Flood Hazard Layer FIRMette

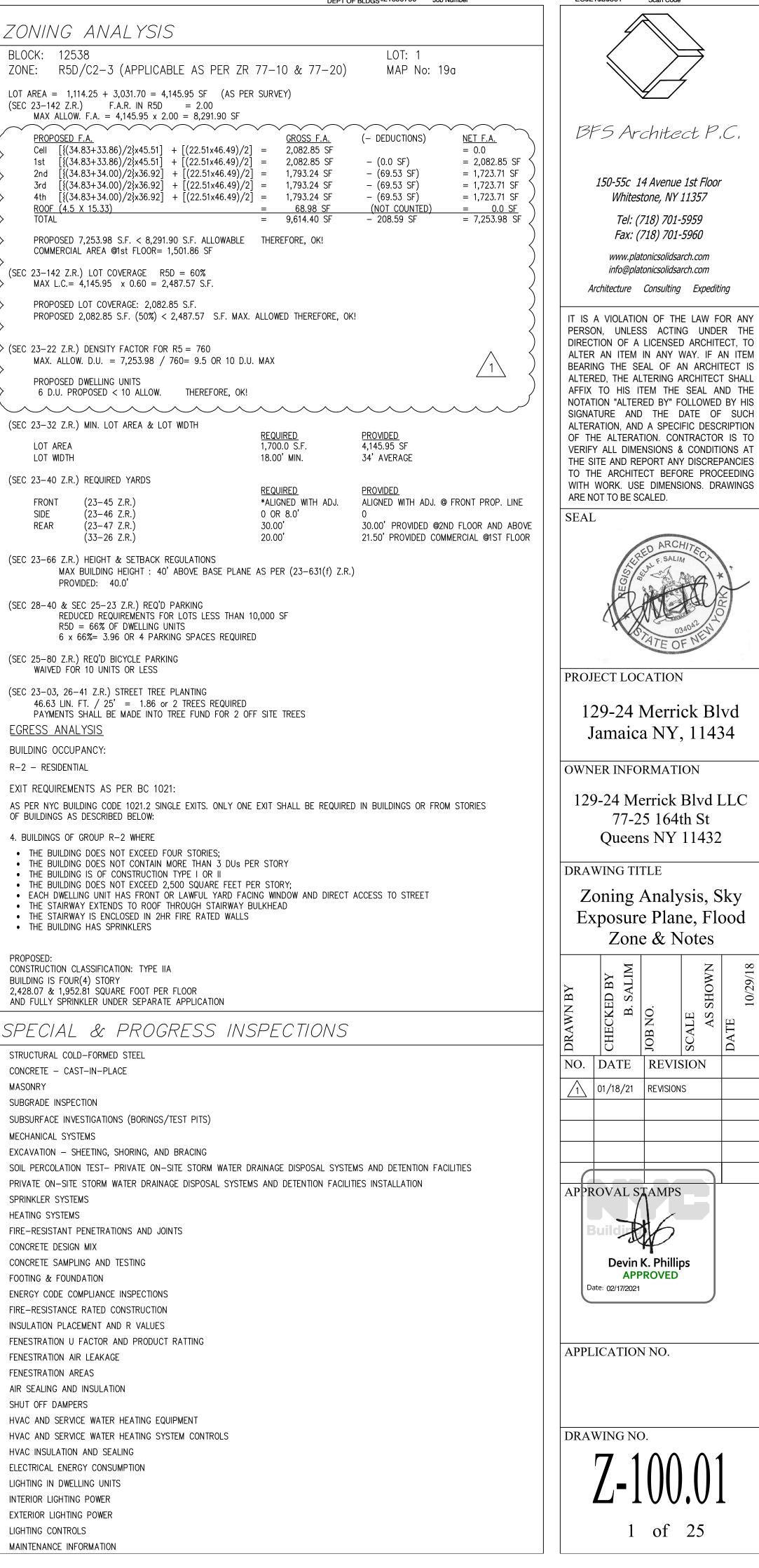


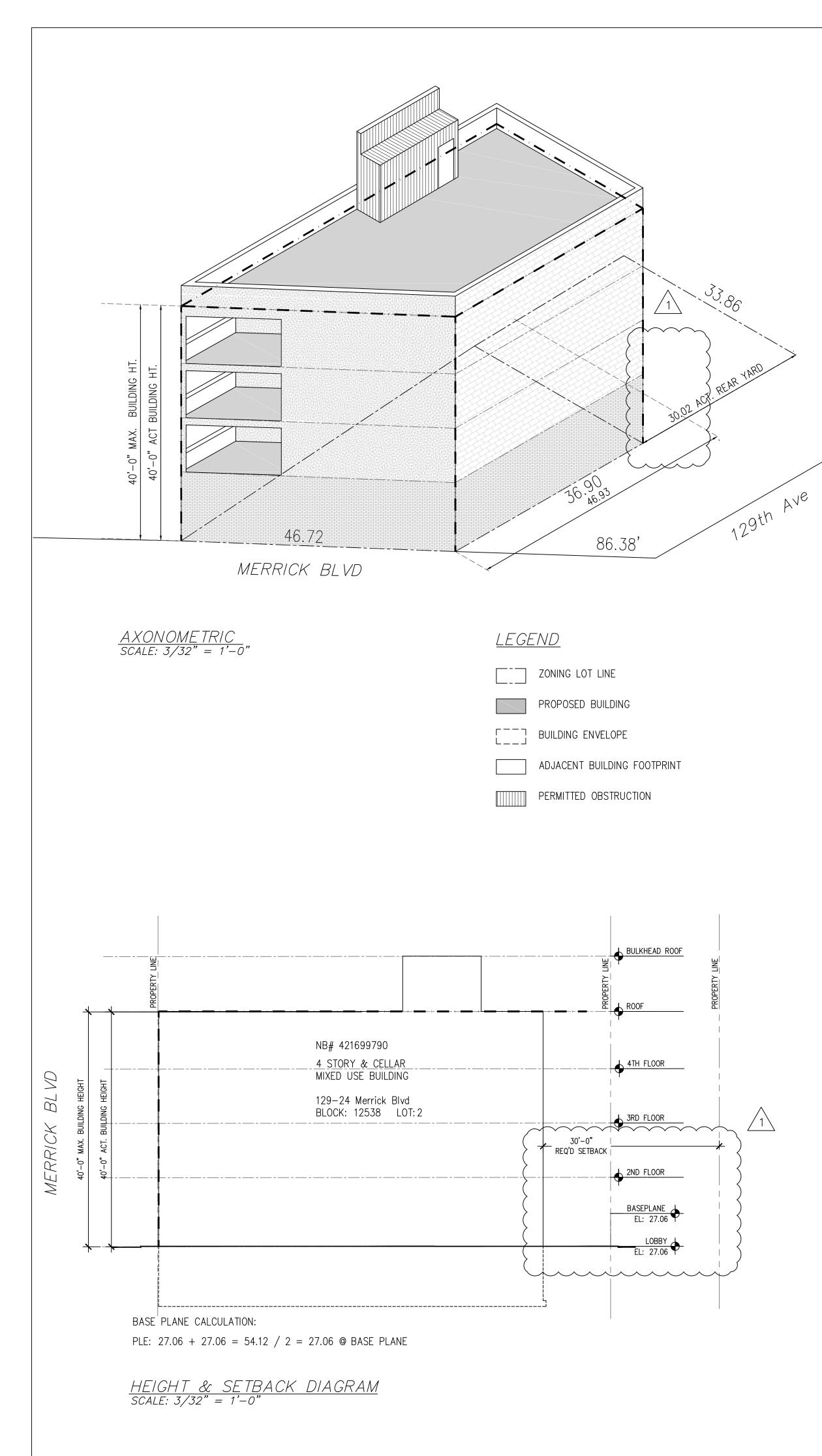
Attribute Name	Attribute Value
What is the most recent FEMA flood hazard data source available for this location?	PRELIMINARY FLOOD INSURANCE RATE MAP (FIRM)
What is my property's Base Flood Elevation (BFE)? (For AO Zones, the flood depth will be shown instead of an elevation; For N/A results, please contact your local floodplain administrator for more information.)	N/A
What is my property's Flood Zone?  (For N/A results, please contact your local floodplain administrator for more information.)	х
Is my Property in the Area of Moderate Wave Action?	N/A
What is the estimated ground elevation at this location? (See licensed surveyor for actual elevation of your building)	N/A
What does my FEMA Flood Hazard Map Panel Look Like? 🕜	N/A
View your property on our Interactive Web Tool	Link to Web Tool
Where can I get the GIS data for my property area?	N/A
ffective Flood Insurance Data his information is from the effective Flood Insurance Rate Map for your community. It is use	ed to determine who must bu

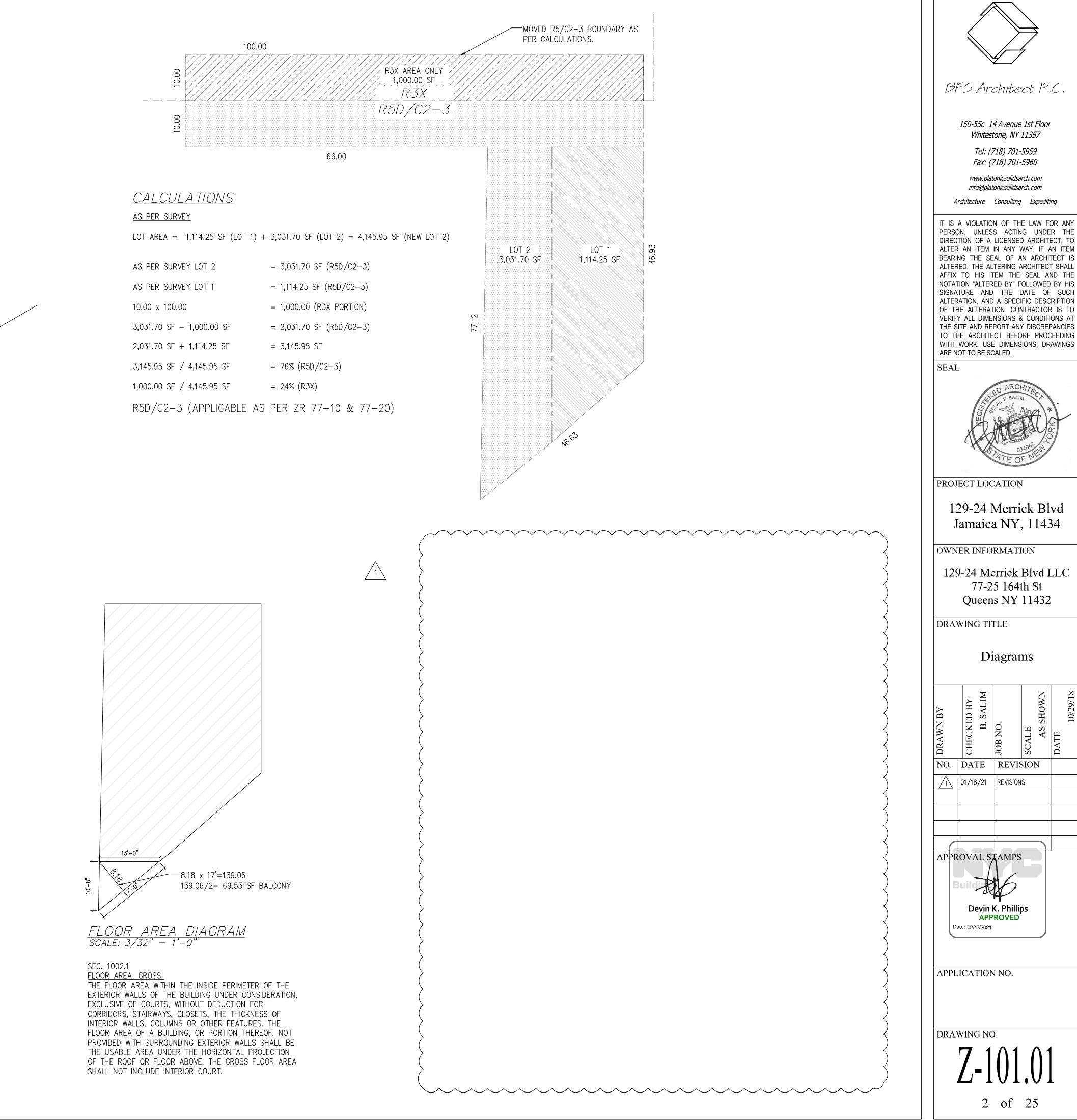
flood insurance and how much it costs. It may also be used by your community to regulate development in flood prone areas.

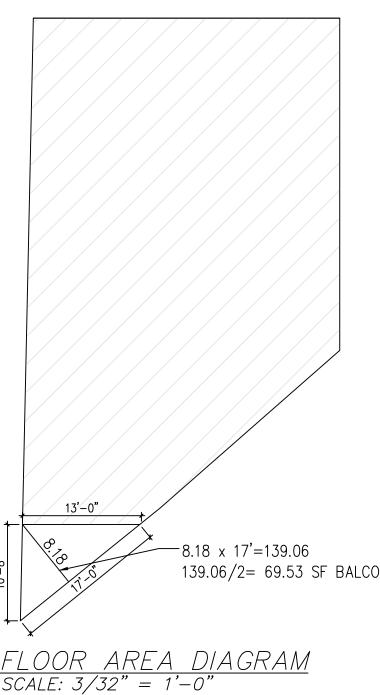
Attribute Name	Attribute Value
What is my property's current effective Base Flood Elevation?	N/A
What is my property's current effective Flood Zone?	N/A
View your property on our Interactive Web Tool	Link to Web Tool for Effective Data

HEATING SYSTEMS



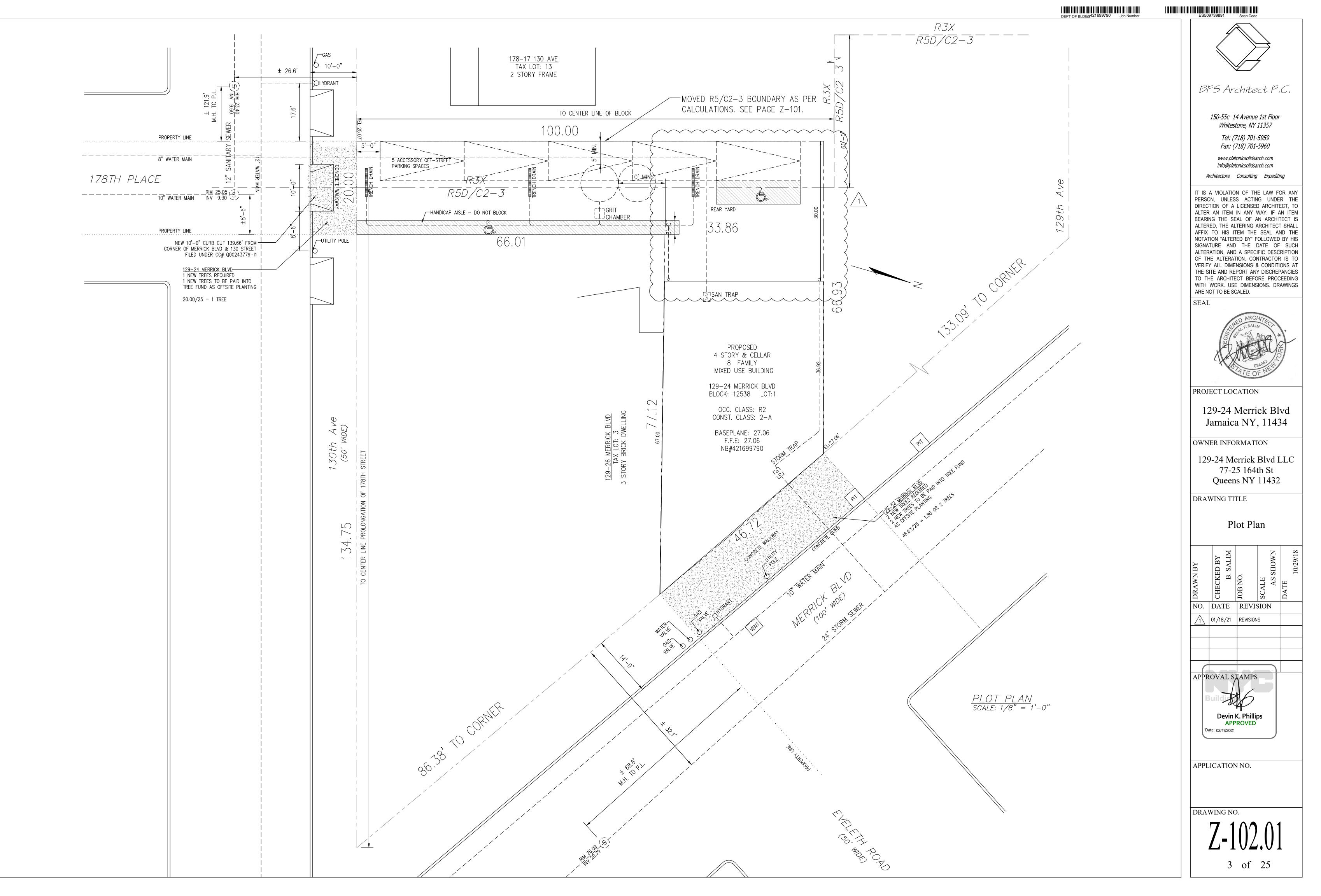






DEPT OF BLDGS421699790	Job Number

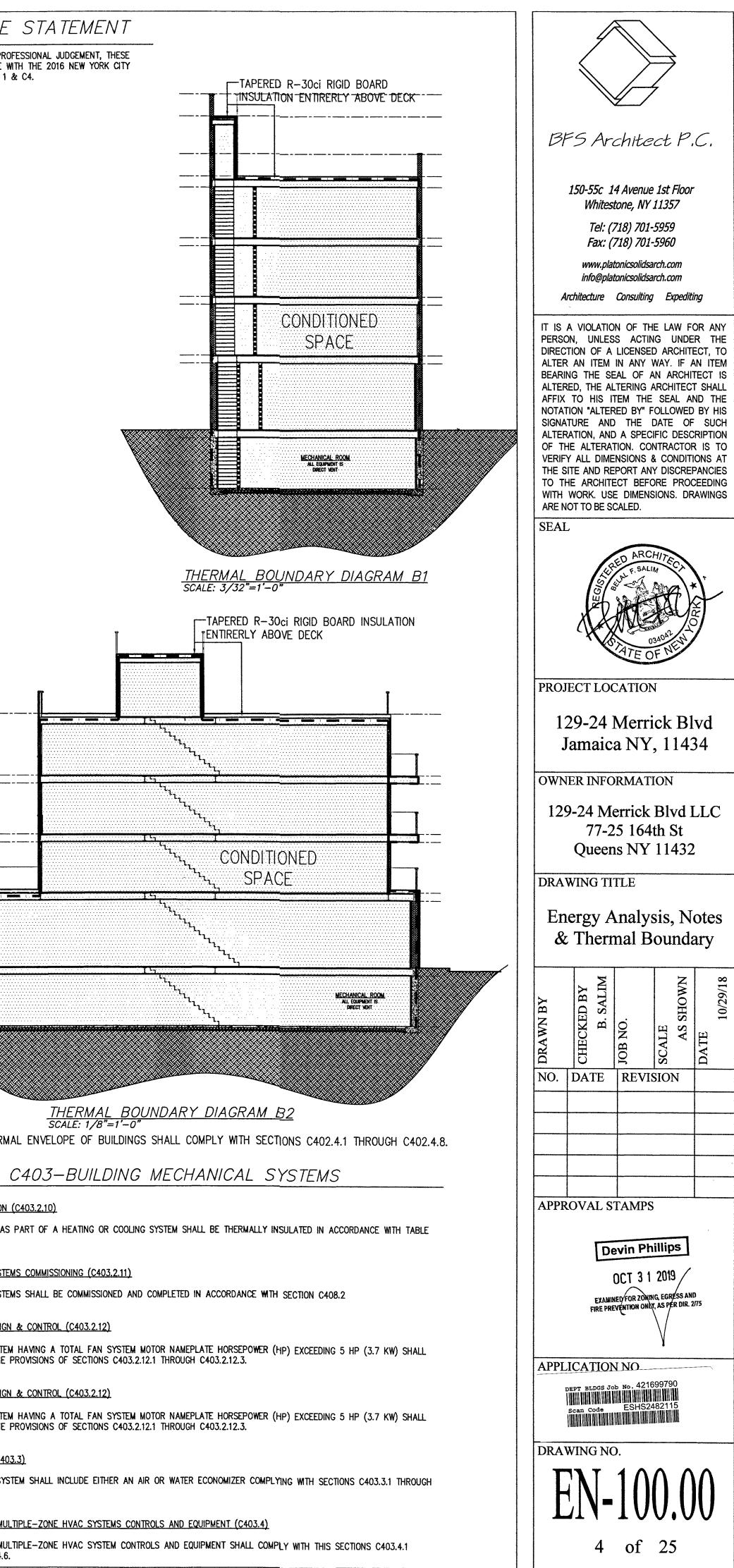
ES642587893 Scan Code



NYCECC C302- DESIGN CONDITIONS	ENERGY	ANALYSIS (CLIN	1,
INTERIOR DESIGN TEMPERATURES USED FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE MAXIMUM 72'F FOR HEATING AND MINIMUM 75'F FOR COOLING.	NYCECC CITATION	PROVISION	
NYCECC C401- GENERAL REQUIREMENTS	BUILDING ENVELO TABLE C402.1.3	PE: OPAQUE THERMAL INSULATIO ROOFS INSULATION ENTIRELY ABOVE DECK	N
COMPLIANCE	TABLE C402.1.3	WALLS ABOVE GRADE MASS WALLS	<
THIS PROPOSED 4 STORY; 6 FAMILY NEW BUILDING SHALL COMPLY WITH SECTIONS C402-C405 & C406.5 OF THE 2016 NYCECC.			<
INSULATION COMPONENT R-VALUE (C402.1)			*
BUILDING THERMAL ENVELOPE ASSEMBLIES SHALL MEET REQUIREMENTS OF SECTIONS C402.2 AND C402.4 BASED ON CLIMATE ZONE 4 AS PER CHAPTER C3. R-VALUES SHALL MEET THE REQUIREMENTS OF TABLE C402.1.3		METAL FRAME WALL	
<ul> <li>MULTIPLE LAYERS OF CONTINUOUS INSULATION ARE USED, THE CONTINUOUS INSULATION BOARD SHALL BE STAGGERED</li> <li>MINIMUM THERMAL RESISTANCE OF ROOF ASSEMBLY WHEN USING TAPERED INSULATION ENTIRELY ABOVE DECK SHALL COMPLY WITH TABLE C402.1.3 (FOR TAPERED INSULATION MIN. REQUIRED THICKNESS MAY VARY UP TO 1" LESS THAN THE REQUIREMENTS OF TABLE C402.1.3)</li> </ul>			
<ul> <li>WHERE THE SLAB-ON-GRADE FLOOR IS GREATER THAN 24 INCHES (61 MM) BELOW THE FINISHED EXTERIOR GRADE, PERIMETER INSULATION IS NOT REQUIRED.</li> <li>WOOD BURNING FIRE PLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR TIGHT-FITTING DOORS.</li> </ul>	TABLE C402.1.3	WALLS BELOW GRADE	く く く
FENESTRATION (C402.4)	BUILDING ENVELO	PE: FENESTRATION MAX. U-FACT FENESTRATION (FIXED)	二 OF T
FENESTRATION SHALL COMPLY WITH SECTIONS C402.4 THROUGH C402.4.4 AND TABLE C402.4	TABLE C402.4	FENESTRATION (OPERABLE)	╞
THE VERTICAL FENESTRATION AREA (NOT INCLUDING OPAQUE DOORS AND OPAQUE SPANDREL SHALL NOT BE GREATER THAN 30 PERCENT OF THE GROSS ABOVEGRADE WALL AREA. THE SKYLIGHT AREA SHALL NOT BE GREATER THAN 3 PERCENT OF THE GROSS ROOF AREA.	TABLEC402.4TABLEC402.4	ENTRANCE DOOR SKYLIGHTS	+
THE MAXIMUM U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT (SHGC) FOR FENESTRATION SHALL BE AS SPECIFIED IN TABLE C402.4.	C402.4.1	MAX. FENESTRATION AREA	
AIR LEAKAGE (C402.5) RUU DING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS CA02.5.1 THROUGH RADOLE 8	C402.5.1	AIR BARRIERS	+
<ul> <li>BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS C402.5.1 THROUGH R402.5.8.</li> <li>A CONTINUOUS AIR BARRIER SHALL BE INSTALLED INSIDE OR OUTSIDE OF THE BUILDING ENVELOPE.</li> <li>BREAKS OR JOINTS SHALL BE SEALED AND PENETRATIONS OF THE AIR BARRIER SHALL BE CAULKED, CASKETED OR SEALED.</li> </ul>			
<ul> <li>FENESTRATION SHALL HAVE AN AIR INFILTRATION RATE COMPLYING WITH TABLEC402.5.2</li> <li>ROOMS CONTAINING FUEL BURNING APPLIANCES THAT ARE NOT DIRECT VENTED SHALL BE THERMALLY ISOLATED FROM BUILDING THERMAL ENVELOPE.</li> <li>DOORS &amp; ACCESS OPENINGS TO SHAFTS, CHUTES, STAIRWAYS &amp; ELEVATOR LOBBIES SHALL BE CASKETED,</li> </ul>	TABLE C402.5.2	AIR LEAKAGE OF FENESTRTION	
<ul> <li>WEATHERSTRIPPED OR SEALED</li> <li>DAMPERS SHALL BE PROVIDED AT STAIRWAY ENCLOSURE, ELEVATOR SHAFT VENTS AND OTHER OUTDOOR AIR INTAKES AND EXHAUST OPENINGS COMPLYING WITH SECTION C403.2.4.3</li> </ul>	MECHANICAL SYS	LTEMS	
<ul> <li>VESTIBULES SHALL BE PROVIDED AS PER C402.5.7</li> <li>ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM AND SHALL BE SEALED WITH A GASKET OR CAULKED,</li> </ul>	C403.2	CALCULATION OF HEATING & COOLING LOADS	
NYCECC C403-BUILDING MECHANICAL SYSTEMS			
SEE MECHANICAL DRAWINGS UNDER SEPARATE APPLICANT.			
MECHANICAL SYSTEMS AND EQUIPMENT SERVING THE BUILDING HEATING, COOLING OR VENTILATING NEEDS SHALL COMPLY WITH SECTION C403.2 AND SHALL COMPLY WITH SECTIONS C403.3 AND C403.4 BASED ON THE EQUIPMENT AND SYSTEMS PROVIDED.		WATER HEATERS	+
MECHANICAL SYSTEMS (C403.2) MECHANICAL SYSTEMS AND EQUIPMENT SERVING THE BUILDING HEATING, COOLING OR VENTILATING NEEDS SHALL COMPLY WITH	TABLE C403.2.3(5)		
SECTIONS C403.2.1 THROUGH C403.2.18			
HEATING & COOLING LOADS (C403.2.1) DESIGN LOADS ASSOCIATED WITH HEATING, VENTILATING AND AIR CONDITIONING OF THE BUILDING SHALL BE DETERMINED IN ACCORDINATE WITH ANSI (ASHRAF (ACCA STANDARD 183 OR BY AN ADDROVED FOLINVALENT COMPUTATIONAL PROCEDURE USING	TABLE C403.2.3(5)	GAS FIRED BOILERS	+
ACCORDANCE WITH ANSI/ASHRAE/ACCA STANDARD 183 OR BY AN APPROVED EQUIVALENT COMPUTATIONAL PROCEDURE USING THE DESIGN PARAMETERS SPECIFIED IN CHAPTER C3. EQUIPMENT SIZING (C403.2.2)	C403.2.4	HVAC SYSTEM CONTROLS	
THE OUTPUT CAPACITY OF HEATING AND COOLING EQUIPMENT SHALL BE NOT GREATER THAN THE LOADS CALCULATED IN ACCORDANCE WITH SECTION C403.2.1.			+
HVAC EQUIPMENT PERFORMANCE (C403.2.3)	C403.2.4.3	SHUT OFF DAMPERS	
EQUIPMENT SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENTS OF TABLES C403.2.3(1), C403.2.3(2), C403.2.3(3), C403.2.3(4), C403.2.3(5), C403.2.3(6), C403.2.3(7), C403.2.3(8), C403.2.3(9), C403.2.3(11), AND C403.2.3(12)			
HVAC EQUIPMENT PERFORMANCE (C403.2.4) EACH HEATING SYSTEM SHALL BE PROVIDED WITH THERMOSTATIC CONTROLS AS SPECIFIED IN SECTIONS C403.2.4.1,			
<ul> <li>C403.2.4.1.3, C403.2.4.2, C403.2.4.3, C403.3.1, C403.4, C403.4.1 or C403.4.4</li> <li>THE SUPPLY OF HEATING AND COOLING ENERGY TO EACH ZONE SHALL BE CONTROLLED BY INDIVIDUAL THERMOSTATIC CONTROLS CAPABLE OF RESPONDING TO TEMPERATURE WITH IN THE ZONE.</li> </ul>	C403.2.10 C404.4	PIPING INSULATION	
<ul> <li>HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTARY HEAT OPERATION WHERE THE HEAT PUMP CAN PROVIDE THE HEATING LOAD.</li> <li>WHERE USED TO CONTROL BOTH HEATING AND COOLING, ZONE THERMOSTATIC CONTROLS SHALL BE CAPABLE OF</li> </ul>	ELECTRICAL POW	ER & LIGHTING SYSTEMS DWELLING UNITS WITHIN COMMERCIA	 
PROVIDING A TEMPERATURE RANGE OR DEADBAND OF AT LEAST 5°F (2.8°C) WITHIN WHICH THE SUPPLY OF HEATING AND COOLING ENERGY TO THE ZONE IS CAPABLE OF BEING SHUT OFF OR REDUCED TO A MINIMUM		NOT LESS THAN 75 PERCEN NOT LESS THAN 75 PERCEN	T
EACH ZONE SHALL BE PROVIDED WITH THERMOSTATIC SETBACK CONTROLS THAT ARE CONTROLLED BY EITHER AN AUTOMATIC TIME CLOCK OR PROGRAMMABLE CONTROL SYSTEM. OUTDOOR AIR INTAKE AND EXHAUST OPENINGS AND STAIRWAY AND SHAFT VENTS SHALL BE PROVIDED WITH CLASS I	TABLE C405.2	LIGHTING CONTROLS	
<ul> <li>OUTDOOR AIR INTAKE AND EXHAUST OPENINGS AND STAIRWAY AND SHAFT VENTS SHALL BE PROVIDED WITH CLASS T MOTORIZED DAMPERS.</li> <li>THE DAMPERS SHALL HAVE AN AIR LEAKAGE RATE NOT GREATER THAN 4 CFM/FT2.</li> <li>OUTDOOR AIR INTAKE AND EXHAUST DAMPERS SHALL BE INSTALLED WITH AUTOMATIC CONTROLS CONFIGURED TO CLOSE</li> </ul>	TABLE C405.2.5	EXTERIOR LIGHTING CONTROLS	 + 
WHEN THE SYSTEMS OR SPACES SERVED ARE NOT IN USE OR DURING UNOCCUPIED PERIOD WARM-UP AND SETBACK OPERATION, UNLESS THE SYSTEMS SERVED REQUIRE OUTDOOR OR EXHAUST AIR IN ACCORDANCE WITH THE NEW YORK CITY MECHANICAL CODE OR THE DAMPERS ARE OPENED TO PROVIDE INTENTIONAL ECONOMIZER COOLING.			
<ul> <li>STAIRWAY AND SHAFT VENT DAMPERS SHALL BE INSTALLED WITH AUTOMATIC CONTROLS CONFIGURED TO OPEN UPON THE ACTIVATION OF ANY FIRE ALARM INITIATING DEVICE OF THE BUILDING'S FIRE ALARM SYSTEM OR THE INTERRUPTION OF POWER TO THE DAMPER.</li> </ul>	TABLE C405.4.2 TABLE C405.4.2(1)	INTERIOR LIGHTING POWER	
DUTDOOR TEMPERATURE SETBACK CONTROL (C403.2.5)	(USING COMcheck)		
IOILERS SHALL HAVE AN OUTDOOR SETBACK CONTROL THAT LOWERS THE BOILER WATER TEMPERATURE BASED ON THE DUTDOOR TEMPERATURE		INTERIOR LIGHTING POWER	
ENTILATION (C403.2.6)			
ENTILATION, EITHER NATURAL OR MECHANICAL, SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 4 OF THE NEW YORK ITY MECHANICAL CODE.	TABLE C405.5	EXTERIOR LIGHTING POWER	
ITCHEN EXHAUST (C403.2.8)	(USING COMcheck)		
REPLACEMENT AIR INTRODUCED DIRECTLY INTO THE EXHAUST HOOD CAVITY SHALL NOT BE GREATER THAN 10 PERCENT OF THE HOOD EXHAUST AIRFLOW RATE		EXTERIOR LIGHTING POWER	
DUCT & PLENUM INSULATION & SEALING (C403.2.9) SUPPLY AND RETURN DUCTS & PLENUMS SHALL BE INSULATED WITH MIN. R6 WHEN LOCATED IN UNCONDITIONED SPACES AND MIN. B8 WHEN LOCATED OUTSIDE OF PUBLICING DUCTS, AND HANDLEDS AND FILTED DOVES SHALL DE SEALED.	TABLE C405.6	ELECTRICAL ENERGY	+
/IN. R8 WHEN LOCATED OUTSIDE OF BUILDING. DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED.	1	CONSUMPTION	1

MIN. R8 WHEN LOCATED OUTSIDE OF BUILDING. DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED.
 DUCTWORK SHALL BE CONSTRUCTED AND ERECTED IN ACCORDANCE WITH THE NEW YORK CITY MECHANICAL CODE

Л	ATE ZONE: 4A	)			NYCECC COMPLIANCE
	ITEM DESCRIPTION	CODE PRESCRIPTIVE VALUE	PROPOSED DESIGN VALUE	SUPPORTING DOCUMENTATION	TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFES PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH ENERGY CONSERVATION CODE, USING CHAPTERS 1 & C
NC	MIN. REQUIREMENTS TAPERED RIGID INSULATION BOARD	R-30ci	R-30ci (6" RIGID INSULATION BOARD)	BUILDING SECTIONS & DETAILS (A-300, A-301 & G-100)	
	BLOCK WALL & STUCCO FINISH WITH CONTINUOUS RIGID BOARD INSULATION	R–11.4ci	R-11.4ci MIN. EXTERIOR INSULATION	BUILDING SECTIONS & DETAILS (A-300, A-301 & G-100)	
	BLOCK WALL	N/A (BUILDING NEXT TO PROPOSED)			
	€ ØBLOCK WALL	R–11.4ci	R-6 CLOSED CELL FOAM INSULATION R-11.4ci MIN. EXTERIOR INSULATION + R-6 CLOSED CELL FOAM INSULATION	(4TH FLOOR AND BULKHEAD ONLY)	
•	5>MTL. FRAME & STUCCO WALL WITH SPRAY INSULATION & CONTINUOUS RIGID BOARD INSULATION	R-13 + R-7.5ci	R-13 CLOSED CELL FOAM INSULATION+ R-7.5ci MIN. EXTERIOR INSULATION		
	POURED CONCRETE WITH	R-7.5ci	R-7.5ci CLOSED CELL FOAM INSULATION	BUILDING SECTIONS & DETAILS (A-300, A-301 & G-100)	
TO	R & SHGC REQUIREMENTS			······································	
_	RETAIL NEW WINDOWS	U=0.38 / SHGC= 0.40	U=0.32 / SHGC=0.25	DOOR SCHEDULE (A-300)	
-	MAIN ENTRY	U=0.45 / SHGC= 0.40 U=0.77 / SHGC= 0.40	U=0.30 / SHGC= 0.32 U=0.28 / SHGC= 0.24	WINDOW SCHEDULE (A-300) DOOR SCHEDULE (A-300)	
	N/A	U=0.50 / SHGC= 0.40	N/A	N/A	
	WALL TO WINDOW RATIO	MAX. 30% OF ABOVE—GRADE WALL AREA	WINDOWS & DOORS/WALL: 464 SF/ 1,860 SF = 25% 298 SF/ 1,360 SF = 22%	FENESTRATION DIAGRAM & ELEVATIONS (A-200)	
	PENETRATIONS IN THERMAL BOUNDARY	CONTINUOUS AIR BARRIER SHALL BE SEALED AT JOINTS AND SEAMS. PENETRATIONS SHALL BE CAULKED, GASKETED OR SEALED	AIR BARRIER SHALL BE SEALED AT JOINTS AND SEAMS. PENETRATIONS SHALL BE CAULKED, GASKETED OR SEALED	FENESTRATION DIAGRAM & ELEVATIONS (A-200)	
	NEW FENESTRATION (WINDOW & DOORS)	MAX. WINDOW/DOOR ASSEMBLY: 0.30 CFM/SF	WNDOW/DOOR ASSEMBLY: 0.20 CFM/SF	WINDOW SCHEDULE (A-300)	
	HEATING AND COOLING	DESIGN LOADS ASSOCIATED WITH	EQUIPMENT SIZING: HEATING AND	N/A	
	EQUIPMENT SHALL NOT EXCEED CALCULATED LOADS	HEATING, VENTILATING AND AIR CONDITIONING OF THE BUILDING SHALL BE DETERMINED IN ACCORDANCE WITH ANSI/ASHRAE/ACCA STANDARD 183 OR BY AN APPROVED EQUIVALENT COMPUTATIONAL PROCEDURE USING THE DESIGN PARAMETERS SPECIFIED IN	COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE ASHRAE/ACCA 183 OR SIMILAR SECTION OF THE COMMERCIAL CODE OF N.Y.S.		
		CHAPTER C3			
	MAKE: A.O SMITH MODEL: GCR-40 *W/ OUTDOOR SETBACK CONTROL *W/ HEAT TRAP	CAPACITY: ≤ 75,000 BTU/h	CAPACITY: 40,000 BTU/h ENERGY FACTOR: 0.62	FLOOR PLANS & RISER DIAGRAMS (A-100, M-100, P-100)	
	MAKE: WILLIAMSON MODEL: GWA105 CSA# ANSI-Z223.1 *DUCTS AS PER R403.3	CAPACITY: < 300,000 BTU/hr MIN. EFFICIENCY: 80% AFUE	CAPACITY: 105,000 BTU/hr EFFICIENCY: 83% AFUE	FLOOR PLANS & RISER DIAGRAMS (A-100, M-100, P-100)	
	PROGRAMMABLE THERMOSTATS	EACH HEATING AND COOLING SYSTEM SHALL BE PROVIDED WITH THERMOSTATIC CONTROLS	PROGRAMMABLE THERMOSTATS PROVIDED FOR EACH ZONE	FLOOR PLANS & RISER DIAGRAMS (A-100, A-101)	
	OUTSIDE AIR INTAKES & EXHAUSTS	OUTDOOR AIR INTAKE AND EXHAUST DAMPERS SHALL BE INSTALLED WITH AUTOMATIC CONTROLS CONFIGURED TO CLOSE WHEN THE SYSTEMS OR SPACES SERVED ARE NOT IN USE OR DURING UNOCCUPIED PERIOD WARM -UP AND SETBACK OPERATION	MOTORIZED DAMPERS SHALL HAVE ABILITY TO OPERATE AT MINIMUM POSITIONS	FLOOR PLANS & RISER DIAGRAMS (A-100, A-101)	
	HVAC INSULATION & SEALING	2" INSULATION FOR 1½"-4" PIPE @ 141F-200F	MIN. 2" INSULATION PROVIDED	RISER DIAGRAMS (P-100, M-100)	
NT	OF THE LAMPS IN PERMANENTI	QUIRED TO COMPLY WITH SECTIONS C405 Y INSTALLED LIGHTING FIXTURES SHALL ED LIGHTING FIXTURES SHALL CONTAIN (		Y COMPLY WITH SECTION R404.1.	THE THERMAL
	FIXTURES IN SERVICE OR COMMON AREAS (NOT WITHIN DWELLING UNITS)	SPACES OTHER THAN DWELLING UNITS SHALL HAVE AUTOMATIC SENSORS OR TIME SWITCH CONTROLS	SPACES OTHER THAN DWELLING UNITS SHALL HAVE AUTOMATIC SENSORS OR TIME SWITCH CONTROLS	LIGHTING SCHEDULE (A-400)	NYCECC C4
	Fixtures in Building Exterior	FIXTURES SHALL HAVE AUTOMATIC TIME & DAYLIGHT SENSOR CONTROLS	AUTOMATIC TIME & DAYLIGHT SENSOR CONTROLS TO BE INSTALLED	LIGHTING SCHEDULE (A-400)	PIPING INSULATION (C4) PIPING SERVING AS PAI C403.2.10
	TOTAL INTERIOR LIGHTING POWER IN RESIDENTIAL BUILDING (NOT WITHIN DWELLING UNITS)	MAX. 0.46 WATTS PER SQ.FT. TOTAL MULTIFMAILY SQ.FT. = 6,226.12 SF MAX. TOTAL WATT ALLOWABLE: 2,864.01 WATTS	RESIDENTIAL PROPOSED WATTAGE = 1,866 WATTS 1,866 W/6,226.12 SF = 0.29 WATTS/FS 0.29 WATTS PER SF < 0.46 WATTS/FS	FLOOR PLANS (A-100-A-102) & LIGHTING SCHEDULE (A-400)	MECHANICAL SYSTEMS
	TOTAL INTERIOR LIGHTING POWER IN RETAIL BUILDING	MAX. 1.13 WATTS PER SQ.FT. TOTAL MULTIFMAILY SQ.FT. = 1,501.86 SF MAX. TOTAL WATT ALLOWABLE: 1,697.10 WATTS	RESIDENTIAL PROPOSED WATTAGE = 585 WATTS 585 W/1,501.86 SF = 0.39 WATTS/FS 0.39 WATTS PER SF < 1.13 WATTS/FS	FLOOR PLANS (A-100-A-102) & LIGHTING SCHEDULE (A-400)	AIR SYSTEM DESIGN & EACH HVAC SYSTEM H/ COMPLY WITH THE PRO
	TOTAL EXTERIOR LIGHTING POWER IN MAIN ENTRY	MAX. 20 WATTS PER LFT. TOTAL DOOR WIDTH = 9 LFT. MAX. TOTAL WATT ALLOWABLE: 180 WATTS	PROPOSED ENTRY WATTAGE = 60 WATTS 60 WATTS/9 LFT = 3.3 WATTS/LFT 3.3 WATTS PER LFT < 20 WATTS/LFT	FLOOR PLANS (A-100-A-102) & LIGHTING SCHEDULE (A-400)	AIR SYSTEM DESIGN & EACH HVAC SYSTEM H/ COMPLY WITH THE PRO
	TOTAL EXTERIOR LIGHTING POWER IN REAR, BALCONIES & ROOF TOP	MAX. 20 WATTS PER LFT. TOTAL DOOR WDTH = 45 LFT. MAX. TOTAL WATT ALLOWABLE: 900 WATTS	PROPOSED ENTRY WATTAGE = 165 WATTS 165 WATTS/45 LFT = 3.3 WATTS/LFT 3.66 WATTS PER LFT < 20 WATTS/LFT	FLOOR PLANS (A-100-A-102) & LIGHTING SCHEDULE (A-400)	ECONOMIZERS (C403.3) EACH COOLING SYSTEM C403.3.4.
	ELECTRIC METERS	EACH DWELLING UNIT LOCATED IN A GROUP R-2 BUILDING SHALL HAVE A SEPARATE ELECTRICAL METER.	EACH DWELLING UNIT PROVIDED SEPARATE ELECTRICAL METER IN METER ROOM @ CELLAR floor	CELLAR FLOOR PLAN (A-100)	HYDRONIC AND MULTIPL HYDRONIC AND MULTIPL THROUGH C403.4.6.



NWOHS

10/2

Project Information						
Energy Code:	2016 New York City Ener	rgy Conservatio	on Code			
Project Title:	Merrick Blvd					
Location: Climate Zone:	New York, New York 4a					
Project Type:	New Construction					
Vertical Glazing / Wall Area:	12%					
Construction Site: 129-24 Merrick Blvd	Owner/Agent: Jacob Ashekenazie		Desi	gner/Contrac	ior:	
Additional Efficiency Pack	(age(s)					
Reduced Interior lighting power. Re	equirements are implicitly enforced within	n interior lighting	allowance c	alculations.		
Building Area		Floor /	Area	<u>.</u> _		
1-Multifamily : Residential 2-Retail : Nonresidential	······································	-	226 501			
Envelope Assemblies						
Ass	embiy	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factor <sub>(*)</sub>
FRONT Wall @1st Fir (Wall Type	3a): Concrete Block:12", Solid	488	0.0	11.4	0.067	0.104
Grouted, Medium Density, Furring	: Metal, [Bidg. Use 2 - Retail]					
Window (1.2): Metal Frame with Ti Product ID AND-N-55-01031-0000 Retail] (b)		85		-	0.320	0.380
Door (1.1,1.5): Glass (> 50% glazi Perf. Specs.: Product ID AND-N-5: Use 2 - Retail] (b)	ng):Metal Frame, Entrance Door, 5-01031-00001, SHGC 0.24, [Bidg.	94			0.300	0.770
Grouted, Medium Density, Furring.		863	0.0	11.4	0.069	0.090
	me:Operable, Perf. Specs.: Product C 0.32, [Bidg. Use 1 - Multifamily] (b)	192		-	0.300	0.450
	nies (Wall Type 5); Steel-Framed, 16"	366	13.0	7.5	0.064	0.064
Sliding Doors (2.1, 3.1, 4.1): Wood Product ID AND-N-97-01136-0000 Multifamily] : Comment: (b)		189		-	0.310	0.450
FRONT Cellar Wall (Wall Type 1):	Solid Concrete:12" Thickness, /all Ht 9.3, Depth B.G. 9.3, [Bidg. Use	430	0.0	7.5	0.095	0.108
	a): Concrete Block:12", Solid Grouted, 3ldg. Use 2 - Retail]	355	0.0	11.4	0.067	0.104
··· ·	ble, Perf. Specs.: Product ID AND-N-	24	-		0.300	0.450
Door (1.2): Glass (> 50% glazing): Perf. Specs.: Product ID AND-N-5 Use 2 - Retail] (b)	Metal Frame, Non-Entrance Door, 5-01031-00001, SHGC 0.24, [Bldg.	21		-	0.300	0.770
						date: 08/12/1

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U Factor
3ACK Wall @2-4th Typical Fir (Wall Type 5): Concrete Block:8*, Solid Grouted, Medium Density, Furring: Metal, [Bidg, Use 1 - Muttifamily]	1003	13.0	7.5	0.067	0.090
sijding Doors (2.3, 2.4): Wood Frame:Operable, Perf. Specs.: Product p AND-N-97-01136-00001, SHGC 0.25, [Bidg. Use 1 - Multifamily] (b)	126			0.310	0.450
Avindows (3.3, 3.4, 4.3, 4.4): Wood Frame:Operable, Perf. Specs.: ⊐roduct ID AND-N-81-00942-00001, SHGC 0.32, [Bidg. Use 1 - yµlitifamily] (b)	192			0.300	0.450
ACK Cellar Wall (Wall Type 2a): Solid Concrete:12" Thickness, yedium Density, Furring: Metal, Wali Ht 9.3, Depth B.G. 0.0, [Bldg. Use   Multifamily] : Comment: ABOVE GRADE WALL	125	0.0	7.5	0.095	0.108
1: Glass (> 50% glazing):Metal Frame, Non-Entrance Door, Perf. specs.: Product ID AND-N-81-00942-00001, SHGC 0.32, [Bidg. Use 1 - yultifamily] (b)	21	-		0.300	0.770
ACK Cellar Wall (Wall Type 2): Solid Concrete:12" Thickness, Medium Jensity, Furring: Metal, Wall Ht 9.3, Depth B.G. 9.3, [Bidg. Use 1 - wultifamily]	190	0.0	7.5	0.095	0.108
SIDE 1 Wali @1st Fir (Wali Type 4): Concrete Block:12", Solid Grouted, Medium Density, Furring: Metal, [Bidg. Use 2 - Retail]	793	6.0	0.0	0.183	0.104
SIDE 1 Wall @2-3rd Typical Fir (Wall Type 4a): Concrete Block.8", Solid Grouted, Medium Density, Furring: Metal, [Bidg. Use 1 - Multifamity] : Comment: WALL NEXT TO EXISTING BUILDING	1323	6.0	0.0	0.197	0.090
SIDE 1 Cellar Wall (Wall Type 1): Solid Concreta:12" Thickness, Medium Density, Furring: Metal, Wall Ht 9.3, Depth B.G. 9.3, [Bldg. Use 1 - Multifamily] : Comment:	698	0.0	7.5	0.095	0.108
SIDE 2 Wall @1st Flr (Wall Type 3a): Concrete Block:12", Solid Grouted, Medium Density, Furring: Metal, [Bldg, Use 2 - Retail]	477	0.0	11.4	0.067	0.104
SIDE 2 Wall @Typical Fir (Wall Type 3): Concrete Block:8", Solid Grouted, Medium Density, Furring: Metal, [Bldg. Use 1 - Multifamily]	1089	0.0	11.4	0.069	0.090
SIDE 1 Wall @4th & builkhead Typical Fir (Wall Type 4b): Concrete Stock:8", Solid Grouted, Medium Density, Furring: Metal, (Bldg. Use 1 - Multifamily) : Comment: WALL EXPOSED TP EXTERIOR	791	6.0	11.4	0.061	0.090
SIDE 2 Cellar Wall (Wall Type 1): Solid Concrete:12" Thickness, Medium Density, Furring: Metal, Wall Ht 9.3, Depth B.G. 9.3, [Bidg. Use 1 - Muttifamily]	420	0.0	7.5	0.095	0.108
Roof Commercial: Insulation Entirely Above Deck, [Bldg. Use 2 - Retail]	289		30.0	0.032	0.032
Quof Residential: Insulation Entirely Above Deck, [Bldg. Use 1 - µultifamity]	1794	-	30.0	0.032	0.032
<ul> <li>(a) Budget U-factors are used for software baseline calculations ONLY</li> <li>(b) Fenestration product performance must be certified in accordance with the software baseline calculation of the software baseline calculations of the software ba</li></ul>		•		entation.	
nvelope PASSES&Design 8% better than codemonster					
nvelope Compliance Statement					
compliance Statement: The proposed envelope design represent pecifications, and other calculations submitted with this permit a lesigned to meet the 2016 New York City Energy Conservation Co rith any applicable mandatory requirements listed in the Inspecti	pplication. The ode requirement	proposed	envelope sy	stems have i	been
lame - Title Signature			·····	Date	

-----

Project Title: Merrick Blvd Report date: 08/12/19 Data filename: K:\Projects\2018\18-53 - 129-24 MERRICK BLVD QUEENS - JACOB ASHKENAZIE\COMCheck\merr Page 2 of 19 (2019-08-08).cck

🔥 🔥 COMche	eck Software Vers	ion 4.1.	1.0			
Exteri	or Lighting C	ompli	ance (	Certi	ficat	e
Project Information						
Energy Code: Project Title: Project Type: Exterior Lighting Zone	2016 New York City Energ Merrick Blvd New Construction 2 (Residential mixed use a	-	n Code			
Construction Site: 129-24 Merrick Blvd	Owner/Agent: Jacob Ashekenazie		Designer/C	ontractor:		
Allowed Exterior Lighting P	ower					
A		В	C	D		ε
Area/Surface Ca	legory	Quantity	Allowed Watts / Unit	Tradable Wattage		ed Watts X C)
Main entry		9 ft of door	20	Yes		180
Other door (not main entry)		45 ft of door	20	Yes		900
				ile Watts (a)		080
		Total All	I OTBI AII owed Supplement	owed Watts :		080 600
	owed between tradable areas/surfaces. ual to 600 watts may be applied toward		oth non-tradable a	and tradable a	areas/surfac	æs.
Proposed Exterior Lighting	Power			•		-
Sisture ID + Decerin	A tion / Lamp / Wattage Per Lamp /	Dollast	B Lamps/	C #of	D Fixture	E (CXD)
rixiure in . Descrip	tion / camp / wattage Fer camp /	DdildSL	Fixture	Fixtures	Watt,	(0 / 0)
Main entry (9 ft of door width): Tr	adable Wattage					
Main Entry: Other:			1	4	15	60
Other door (not main entry) (45 fi Balconies & Roof Terrace: Other:	t of door width): Tradable Wattage		1	11	15	165
Balconies & Roor Ferrace, Other.				dable Propos		225
				Andre state state state		
exterior righting PASSES:	Design 87% better than code			a an		Service and
Exterior Lighting Complian	ce Statement					
specifications, and other calcula designed to meet the 2016 New	posed exterior lighting design repr tions submitted with this permit ar York City Energy Conservation Co requirements listed in the Inspectic	plication. The de requiremen	proposed exter	ler lighting :	systems h	ave been
Name - Title	Signature			Date		
	2					

Project Title: Merrick Blvd Report date: 08/12/19 Data filename: K:\Projects\2018\18-53 - 129-24 MERRICK BLVD QUEENS - JACOB ASHKENAZIE\COMCheck\merr Page 4 of 19 (2019-08-08).cck

Project	Information		
Energy Co	de:	2016 New York City Energy Con	servation Code
Project Title	8:	Merrick Blvd	
Location:		New York, New York 4a	
Climate Zo Project Typ		New Construction	
Construction 129-24	on Site: Merrick Bivd	Owner/Agent: Jacob Ashekenazie	Designer/Contractor.
	al Efficiency Packa	ge(s) urements are implicitly enforced within interior	linhtino alkwance calculations
	ical Systems List		
Quantity	System Type & Desc	ription	
0	HVAC System 2 (Single	Zone w/ PerimeterSystem):	
Ū	• • •	(Gas Boiler (Heating equipment)), Gas, Capac	ity = 105 kBtw/h
8	Heating: 8 each - Other No minimum efficiency	(Gas Boiler (Heating equipment)), Gas, Capac	ity = 105 kBtu/h
-	Heating: 8 each - Other of No minimum efficiency Fan System: None Water Heater 1: Gas Storage Water Heat	(Gas Boiler (Heating equipment)), Gas, Capac	
8 Mechani Compliani specificat designed	Heating: 8 each - Other I No minimum efficienc; Fan System: None Water Heater 1: Gas Storage Water Heat Proposed Efficiency: 0 Ical Compliance Sta ce Statement: The pro ions, and other calculat to meet the 2016 New	Gas Boiler (Heating equipment)), Gas, Capac y requirement applies ter, Capacity: 40 gallons, Input Rating: 40 kBt 0.62 EF, Required Efficiency: 0.59 EF tement posed mechanical design represented in ions submitted with this permit applicat	In w/ Heat Trace Tape Installed this document is consistent with the building plans, on. The proposed mechanical systems have been urrements in COMcheck Version 4.1.1.0 and to com
8 Mechani Complian specificat designed with any a	Heating: 8 each - Other I No minimum efficiency Fan System: None Water Heater 1: Gas Storage Water Heat Proposed Efficiency: 0 Ical Compliance Sta ce Statement: The pro- ions, and other calculat to meet the 2016 New applicable mandatory re	Gas Boller (Heating equipment)), Gas, Capac y requirement applies ter, Capacity: 40 gallons, Input Rating: 40 kBt 0.62 EF, Required Efficiency: 0.59 EF tement bosed mechanical design represented in ions submitted with this permit applicati york City Energy Conservation Code req	In w/ Heat Trace Tape Installed this document is consistent with the building plans, on. The proposed mechanical systems have been urrements in COMcheck Version 4.1.1.0 and to comp
8 Mechani Complian specificat designed with any a	Heating: 8 each - Other I No minimum efficiency Fan System: None Water Heater 1: Gas Storage Water Heat Proposed Efficiency: 0 Ical Compliance Sta ce Statement: The pro- ions, and other calculat to meet the 2016 New applicable mandatory re	Gas Boller (Heating equipment)), Gas, Capac y requirement applies ter, Capacity: 40 gallons, Input Rating: 40 kBt .62 EF, Required Efficiency: 0.59 EF tement bosed mechanical design represented in ions submitted with this permit applicat york City Energy Conservation Code req equirements listed in the inspection Che	In w/ Heat Trace Tape Installed this document is consistent with the building plans, on. The proposed mechanical systems have been uirements in COM <i>check</i> Version 4.1.1.0 and to comp cklist.
8 Mechani Complian specificat designed with any a	Heating: 8 each - Other I No minimum efficiency Fan System: None Water Heater 1: Gas Storage Water Heat Proposed Efficiency: 0 Ical Compliance Sta ce Statement: The pro- ions, and other calculat to meet the 2016 New applicable mandatory re	Gas Boller (Heating equipment)), Gas, Capac y requirement applies ter, Capacity: 40 gallons, Input Rating: 40 kBt .62 EF, Required Efficiency: 0.59 EF tement bosed mechanical design represented in ions submitted with this permit applicat york City Energy Conservation Code req equirements listed in the inspection Che	In w/ Heat Trace Tape Installed this document is consistent with the building plans, on. The proposed mechanical systems have been uirements in COM <i>check</i> Version 4.1.1.0 and to comp cklist.
8 Mechani Compliant specificat designed with any a	Heating: 8 each - Other I No minimum efficiency Fan System: None Water Heater 1: Gas Storage Water Heat Proposed Efficiency: 0 Ical Compliance Sta ce Statement: The pro- ions, and other calculat to meet the 2016 New applicable mandatory re	Gas Boller (Heating equipment)), Gas, Capac y requirement applies ter, Capacity: 40 gallons, Input Rating: 40 kBt .62 EF, Required Efficiency: 0.59 EF tement bosed mechanical design represented in ions submitted with this permit applicat york City Energy Conservation Code req equirements listed in the inspection Che	I/h w/ Heat Trace Tape Installed this document is consistent with the building plans, on. The proposed mechanical systems have been uirements in COM <i>check</i> Version 4.1.1.0 and to comp cklist.
8 Mechani Compliani specificat designed	Heating: 8 each - Other I No minimum efficiency Fan System: None Water Heater 1: Gas Storage Water Heat Proposed Efficiency: 0 Ical Compliance Sta ce Statement: The pro- ions, and other calculat to meet the 2016 New applicable mandatory re	Gas Boller (Heating equipment)), Gas, Capac y requirement applies ter, Capacity: 40 gallons, Input Rating: 40 kBt .62 EF, Required Efficiency: 0.59 EF tement bosed mechanical design represented in ions submitted with this permit applicat york City Energy Conservation Code req equirements listed in the inspection Che	I/h w/ Heat Trace Tape Installed this document is consistent with the building plans, on. The proposed mechanical systems have been uirements in COM <i>check</i> Version 4.1.1.0 and to comp cklist.

Report date: 08/12/19 Data filename: K:\Projects\2018\18-53 - 129-24 MERRICK BLVD QUEENS - JACOB ASHKENAZIE\COMCheck\merr Page 5 of 19 (2019-08-08).cck

# NYCECC C405-ELECTRICAL POWER & LIGHTING SYSTEMS

#### C405.1 ELECTRICAL POWER AND LIGHTING SYSTEMS

DWELLING UNITS WITHIN COMMERCIAL BUILDINGS SHALL NOT BE REQUIRED TO COMPLY WITH SECTIONS C405.2 THROUGH C405.5 PROVIDED THAT THEY COMPLY WITH SECTION R404.1

A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES, OTHER THAN LOW VOLTAGE LIGHTING,

#### SHALL BE HIGH-EFFICACY LAMPS (R404.1)

- HIGH-EFFICACY LAMPS SHALL CONSIST OF THE FOLLOWING MINIMUM:
- 1) COMPACT FLUORESCENT LAMPS (CFL)
- 2) LINEAR FLUORESCENT LAMPS: T8 OR T5
- 3) LAMPS <= 15 WATTS: 40 LUMENS/WATT
- 4) LAMPS 15 TO 40 WATTS: 50 LUMENS/WATT 5) LAMPS >= 40 WATTS: 60 LUMENS/WATT
- T12 LINEAR FLUORESCENT, INCANDESCENT OR HALOGEN LAMPS DO NOT MEET THIS REQUIREMENT.

#### EXTERIOR BUILDING POWER (C405.5)

THE TOTAL EXTERIOR LIGHTING POWER ALLOWANCE FOR ALL EXTERIOR BUILDING APPLICATIONS IS THE SUM OF THE BASE SITE ALLOWANCE PLUS THE INDIVIDUAL ALLOWANCES FOR AREAS THAT ARE TO BE ILLUMINATED AND ARE PERMITTED IN TABLE C405.5.2(2) FOR THE APPLICABLE LIGHTING ZONE. TRADE-OFFS ARE ALLOWED ONLY AMONG EXTERIOR LIGHTING APPLICATIONS LISTED IN TABLE C405.5.2(2), IN THE TRADABLE SURFACES SECTION. THE LIGHTING ZONE FOR THE BUILDING EXTERIOR IS DETERMINED FROM TABLE C405.5.2(1) UNLESS OTHERWISE SPECIFIED BY THE LOCAL JURISDICTION.

EXTERIOR LIGHTING ZONE 2 AS PER TABLE 405.5.2(1)

#### ELECTRICAL ENERGY CONSUMPTION (C405.6)

EACH DWELLING UNIT LOCATED IN A GROUP R-2 BUILDING SHALL HAVE A SEPARATE ELECTRICAL METER.

#### ON-SITE RENEWABLE ENERGY (C406.5)

- TOTAL MINIMUM RATINGS OF ON-SITE RENEWABLE ENERGY SYSTEMS SHALL COMPLY WITH ONE OF THE FOLLOWING:
- PROVIDE NOT LESS THAN 0.50 WATTS PER SQUARE FOOT (5.4 W/M2) OF CONDITIONED FLOOR AREA.
  PROVIDE NOT LESS THAN 3 PERCENT OF THE ENERGY USED WITHIN THE BUILDING FOR BUILDING MECHANICAL AND SERVICE
- WATER HEATING EQUIPMENT AND LIGHTING REGULATED IN CHAPTER C4

### NYCECC C408- SYSTEM

THIS BUILDING REQUIRES COMMISSIONING AND COMPLET COPIES OF ALL DOCUMENTATION SHALL BE GIVEN TO C NO COOLING EQUIPMENT PROVIDED UNDER THIS APPLIC

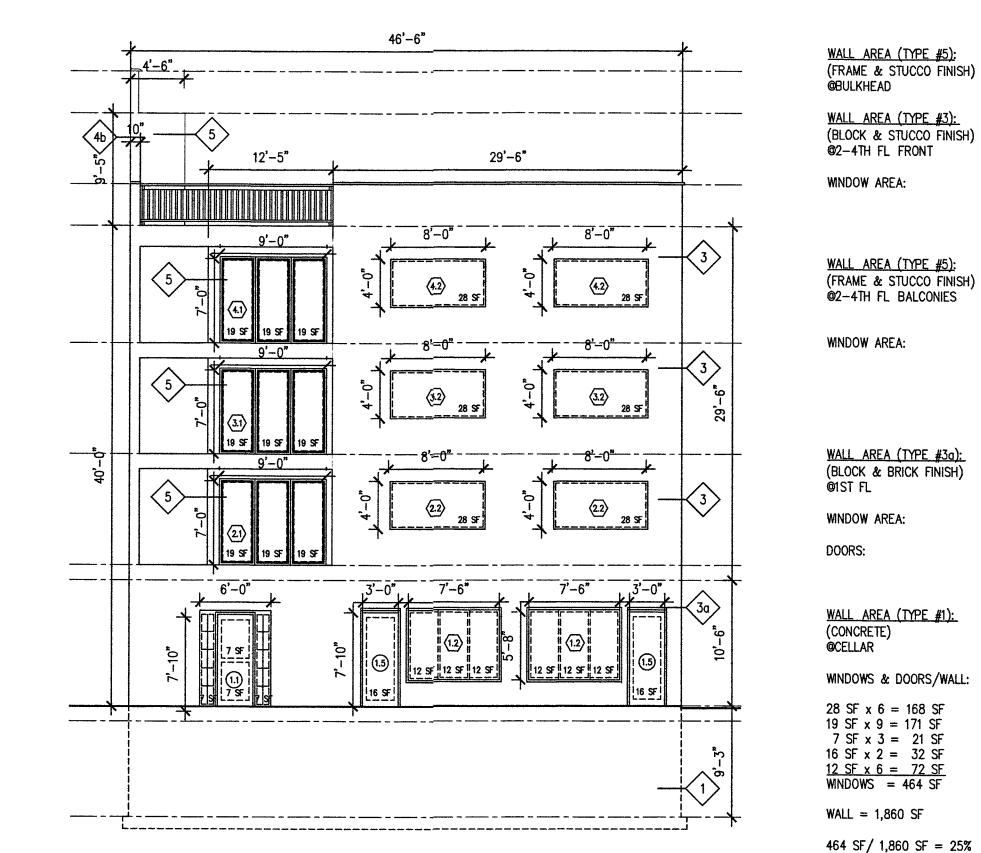
HEATING CAPACITY OF HOT WATER HEATER = 40,000320,000 BTUs < 480,000

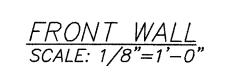
HEATING CAPACITY OF BOILER = 105,000 BTUs x 8 U 840,000 BTUs > 480,000

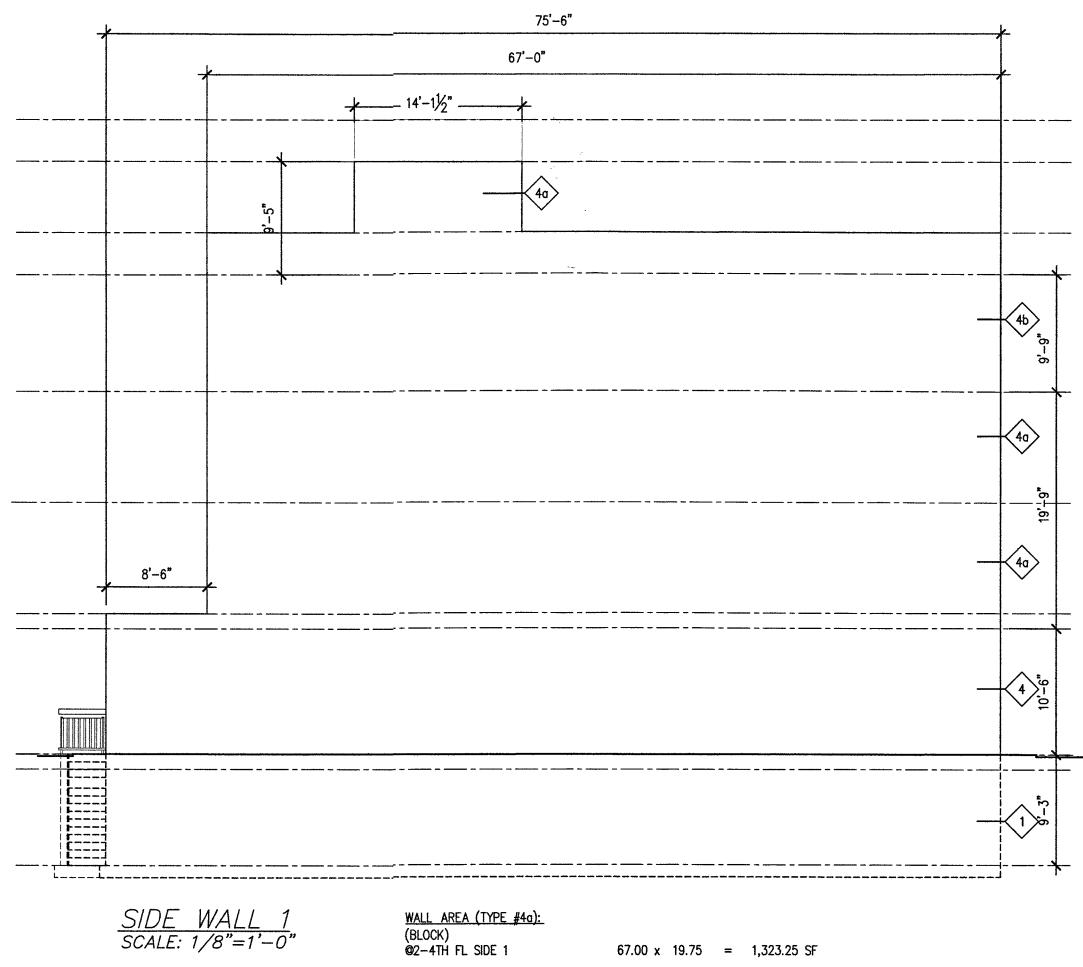
CERTIFICATION THAT INSTALLED LIGHTING CONTROLS ME OWNER WITHIN 90 DAYS FROM RECEIVING CERTIFICATE

COMcheck Software Version 4.1.1.0 Interior Lighting Compliance Certificate	PF	ROGRESS INSPECTIONS FOR ENERGY	CODE_COMPLIAN	CE	
Project Information		INSPECTION/TEST	FREQUENCY (MINIMUM)	REFERENCE STANDARD	ECC OR OTHER CITATIO
rergy Code: 2016 New York City Energy Conservation Code oject Title: Merrick Blvd oject Type: New Construction onstruction Site: Owner/Agent: Designer/Contractor: 129-24 Merrick Blvd Jacob Ashekenazie dilitional Efficiency Package(s) educed interior lighting power. Requirements are implicitly enforced within interior lighting allowance calculations. Ilowed Interior Lighting Power		INSULATION PLACEMENT AND R-VALUES: INSTALLED INSULATION FOR EACH COMPONENT OF THE CONDITIONED SPACE ENVELOPE AND AT JUNCTIONS BETWEEN COMPONENTS SHALL BE VISUALLY INSPECTED TO ENSURE THAT THE R VALUES ARE MARKED, THAT SUCH R-VALUES CONFORM TO THE R-VALUES IDENTIFIED IN THE CONSTRUCTION DOCUMENTS AND THAT THE INSULATION IS PROPERLY INSTALLED. CERTIFICATIONS FOR UNMARKED INSULATION SHALL BE SIMILARLY VISUALLY INSPECTED.	AS REQUIRED TO VERIFY CONTINUOUS ENCLOSURE WHILE WALLS, CEILINGS AND FLOORS ARE OPEN	APPROVED CONSTRUCTION DOCUMENTS	C303.1, C303.1.1, C303.1.2, C402.1, C402.2; ASHRAE 90.1 -5.5, 5.6 or 11; 5.8.1
A     B     C     D       Area Category     Floor Area (ft2)     Allowed Watts / ft2     Allowed Watts (B X C)       utifamily     6226     0.46     2858       stail     1501     1.13     1702       Total Allowed Watts = 4560       Poosed Interior Lighting Power       A     B     C     D       Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast     Lamps/ # of Fixture (C X D)	IIA3	FENESTRATION U-FACTOR AND PRODUCT RATINGS: U-FACTORS, SHGC AND VT VALUES OF INSTALLED FENESTRATION SHALL BE VISUALLY INSPECTED FOR CONFORMANCE WITH THE U-FACTORS, SHGC AND VT VALUES IDENTIFIED IN THE CONSTRUCTION DRAWINGS BY VERIFYING THE MANUFACTURER'S NFRC LABELS OR, WHERE NOT LABELED, USING THE RATINGS IN ECC TABLES C303.1.3(1), (2) AND (3).	AS REQUIRED DURING INSTALLATION	APPROVED CONSTRUCTION DOCUMENTS, NFRC 100, NFRC 200	C303.1, C303.1.3, C402.3; ASHRAE 90.1–5.5; 5.6 or 11; 5.8.2
Fixture         Fixtures         Watt.           utilifamily		FENESTRATION AIR LEAKAGE: WINDOWS AND SLIDING OR SWINGING DOOR ASSEMBLIES, EXCEPT SITE-BUILT WINDOWS AND/OR DOORS, SHALL BE VISUALLY INSPECTED TO VERIFY THAT INSTALLED ASSEMBLIES ARE LISTED AND LABELED BY THE MANUFACTURER TO THE REFERENCED STANDARD. FOR CURTAIN WALL, STOREFRONT GLAZING, COMMERCIAL ENTRANCE DOORS AND REVOLVING DOORS, THE TESTING REPORTS SHALL BE REVIEWED TO VERIFY THAT THE INSTALLED ASSEMBLY COMPLIES WITH THE STANDARD CITED IN THE APPROVED PLANS	AS REQUIRED DURING INSTALLATION; PRIOR TO FINAL CONSTRUCTION INSPECTION	NFRC 400, AAMA/WDMA/CSA 101/I.S.2/A440 ASTM E283; ANSI/DASMA 105	C402.4.3; ASHRAE 90.1 -5.4.3.2
mpliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, ecifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been signed to meet the 2016 New York City Energy Conservation Code requirements in COM <i>check</i> Version 4.1.1.0 and to comply th any applicable mandatory requirements listed in the Inspection Checklist.	IIA5	FENESTRATION AREAS: DIMENSIONS OF WINDOWS, DOORS AND SKYLIGHTS SHALL BE VERIFIED BY VISUAL INSPECTION.	PRIOR TO FINAL CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C402.3; ASHRAE 90.1-5.5.4.2 5.6 or 11
ame - Title Date Dignature Date oject Title: Merrick Blvd Report date: 08/12/19 ata filename: K:\Projects\2018\18-53 - 129-24 MERRICK BLVD QUEENS - JACOB ASHKENAZIE\COMCheck\merr Page 3 of 19		AIR SEALING AND INSULATION – VISUAL INSPECTION: OPENINGS AND PENETRATIONS IN THE BUILDING ENVELOPE, INCLUDING SITE-BUILT FENESTRATION AND DOORS, SHALL BE VISUALLY INSPECTED TO VERIFY THAT A CONTINUOUS AIR BARRIER AROUND THE ENVELOPE FORMS AN AIR-TIGHT ENCLOSURE. THE PROGRESS INSPECTOR SHALL VISUALLY INSPECT TO VERIFY THAT MATERIALS AND/OR ASSEMBLIES HAVE BEEN TESTED AND MEET THE REQUIREMENTS OF THE RESPECTIVE STANDARDS, OR THAT THE BUILDING IS TESTED AND MEETS THE REQUIREMENTS OF THE STANDARD, IN ACCORDANCE WITH THE STANDARD(S) CITED IN THE APPROVED PLANS.	AS REQUIRED DURING CONSTRUCTION	APPROVED CONSTRUCTION DOCUMENTS; ASTM E2178, ASTM E2357, ASTM E1677, ASTM E779, ASTM E283	C402.4; ASHRAE 90.1-5.4.3.1
<u>YCECC C404-SERVICE WATER HEATING</u>		SHUTOFF DAMPERS: DAMPERS FOR STAIR AND ELEVATOR SHAFT VENTS AND OTHER OUTDOOR AIR INTAKES AND EXHAUST OPENINGS INTEGRAL TO THE BUILDING ENVELOPE SHALL BE VISUALLY INSPECTED TO VERIFY THAT SUCH DAMPERS, EXCEPT WHERE PERMITTED TO BE GRAVITY DAMPERS, COMPLY WITH APPROVED CONSTRUCTION DRAWINGS. MANUFACTURER'S LITERATURE SHALL BE REVIEWED TO VERIFY THAT THE PRODUCT HAS BEEN TESTED AND FOUND TO MEET THE STANDARD	AS REQUIRED DURING INSTALLATION	APPROVED CONSTRUCTION DOCUMENTS; AMCA 500D	C403.2.4.4; ASHRAE 90.1-6.4.3.4
RVICE WATER-HEATING EQUIPMENT (C404.2) ATER-HEATING EQUIPMENT AND HOT WATER STORAGE TANKS SHALL MEET THE REQUIREMENTS OF TABLE C404.2 CAT_TRAPS_(C404.3)		HVAC AND SERVICE WATER HEATING EQUIPMENT: EQUIPMENT SIZING, EFFICIENCIES AND OTHER PERFORMANCE FACTORS OF ALL MAJOR EQUIPMENT UNITS, AS DETERMINED BY THE APPLICANT OF RECORD, AND NO LESS THAN 15% OF MINOR EQUIPMENT UNITS, SHALL BE VERIFIED BY VISUAL INSPECTION AND, WHERE NECESSARY, REVIEW OF MANUFACTURER'S DATA.POOL HEATERS AND COVERS SHALL BE VERIFIED BY VISUAL INSPECTION	PRIOR TO FINAL PLUMBING AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C403.2, C404.2, C404.7, C406.2; ASHRAE 90.1 -6.3, 6.4.1, 6.4.2, 6.8; 7.4, 7.8
ATER-HEATING EQUIPMENT NOT SUPPLIED WITH INTEGRAL HEAT TRAPS AND SERVING NON-CIRCULATING SYSTEMS HALL BE PROVIDED WITH HEAT TRAPS ON THE SUPPLY AND DISCHARGE PIPING ASSOCIATED WITH THE EQUIPMENT SULATION OF PIPING (C404.4) PING FROM A WATER HEATER TO THE TERMINATION OF THE HEATED WATER FIXTURE SUPPLY PIPE SHALL BE SULATED IN ACCORDANCE WITH TABLE C403.2.10 FEICIENT HEATED WATER SUPPLY PIPING (C404.5) EATED WATER SUPPLY PIPING SHALL BE IN ACCORDANCE WITH SECTION C404.5.1 OR C404.5.2 EATED WATER SUPPLY PIPING SHALL BE IN ACCORDANCE WITH SECTION C404.6.1. HEAT TRACE TEMPERATURE AINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION C404.6.1. HEAT TRACE TEMPERATURE AINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION C404.6.2. CONTROLS FOR HOT WATER STORAGE 14ALL BE IN ACCORDANCE WITH SECTION C404.6.3. AUTOMATIC CONTROLS, TEMPERATURE SENSORS AND PUMPS 14ALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE. EMAND RECIRCULATION CYSTEM HAVING ONE OR MORE RECIRCULATION PUMPS THAT PUMP WATER FROM A EATED-WATER SUPPLY PIPE BACK TO THE HEATED-WATER SOURCE THROUGH A COLD-WATER SUPPLY PIPE SHALL	IIB4	HVAC AND SERVICE WATER HEATING SYSTEM CONTROLS: NO LESS THAN 20% OF EACH TYPE OF REQUIRED OPERATION. SUCH CONTROLS SHALL INCLUDE, BUT ARE NOT LIMITED TO: THERMOSTATIC 'SET POINT OVERLAP RESTRICTION 'OFF-HOUR 'SHUTOFF DAMPER 'SNOW-MELT SYSTEM 'DEMAND CONTROL SYSTEMS 'OUTDOOR HEATING SYSTEMS 'ZONES 'ECONOMIZERS' AIR SYSTEMS 'VARIABLE AIR VOLUME FAN 'SINGLE ZONE COOLING SYSTEMS 'HYDRONIC SYSTEMS 'HEAT REJECTION EQUIPMENT FAN SPEED 'COMPLEX MECHANICAL SYSTEMS 'HEAT REJECTION EQUIPMENT FAN SPEED 'COMPLEX MECHANICAL SYSTEMS 'HOT GAS BYPASS LIMITATION 'TEMPERATURE 'SERVICE WATER HEATING 'HOT WATER SYSTEM 'POOL HEATER AND TIME SWITCHES 'EXHAUST HOODS 'RADIANT HEATING SYSTEMS 'HVAC CONTROL IN GROUP R-1 SLEEPING ROOMS CONTROLS WITH SEASONALLY DEPENDENT FUNCTIONALITY: CONTROLS WHOSE COMPLETE OPERATION CANNOT BE DEMONSTRATED DUE TO PREVAILING WEATHER CONDITIONS TYPICAL OF THE SEASON DURING WHICH PROGRESS INSPECTIONS WILL BE PERFORMED SHALL BE PERMITTED TO BE SIGNED OFF FOR THE PURPOSE OF A TEMPORARY CERTIFICATE OF OCCUPANCY WITH ONLY A VISUAL INSPECTION, PROVIDED, HOWEVER, THAT THE PROGRESS INSPECTOR SHALL PERFORM A SUPPLEMENTAL INSPECTION WHERE THE CONTROLS ARE VISUALLY INSPECTED AND TESTED FOR FUNCTIONALITY AND PROPER OPERATION DURING THE NEXT IMMEDIATE SEASON THEREAFTER. THE OWNER SHALL PROVIDE FULL ACCESS INSPECTORS REQUEST FOR SUCH ACCESS TO PERFORM THE PROGRESS INSPECTORS REQUEST FOR SUCH ACCESS TO PERFORM THE PROGRESS INSPECTORS REQUEST FOR SUCH ACCESS TO PERFORM THE PROGRESS INSPECTOR. FOR SUCH SUPPLEMENTAL INSPECTIONS, THE DEPARTMENT SHALL BE NOTIFIED BY THE APPROVED PROGRESS INSPECTIONS, THE DEPARTMENT SHALL BE NOTIFIED BY THE APPROVED PROGRESS INSPECTION, AGENCY OF ANY UNRESOLVED	AFTER INSTALLATION AND PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION, EXCEPT THAT FOR CONTROLS SEASONALLY DEPENDENT FUNCTIONALITY, SUCH TESTING SHALL BE PERFORMED BEFORE SIGN-OFF FOR ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY	APPROVED CONSTRUCTION DOCUMENTS, INCLUDING CONTROL SYSTEM NARRATIVES; ASHRAE GUIDELINE 1: THE HVAC COMMISSIONING PROCESS WHERE APPLICABLE	C403.2.4, C403.2.5.1, C403.2.11, C403.3, C403.4, C404.3, C404.6, C404.7; ASHRAE 90 -6.3, 6.4, 6.5, 7.4.4, 7.4.5
A DEMAND RECIRCULATION WATER SYSTEM	liB5	DEFICIENCIES IN THE INSTALLED WORK WITHIN 180 DAYS OF SUCH SUPPLEMENTAL INSPECTION. HVAC INSULATION AND SEALING: INSTALLED DUCT AND PIPING INSULATION SHALL BE VISUALLY INSPECTED TO VERIFY PROPER INSULATION PLACEMENT JOINTS, LONGITUDINAL AND TRANSVERSE SEAM AND CONNECTIONS IN DUCTWORK SHALL BE VISUALLY INSPECTED FOR PROPER SEALING.	AFTER INSTALLATION AND PRIOR TO CLOSING SHAFTS, CEILINGS AND WALLS	APPROVED CONSTRUCTION DOCUMENTS; SMACNA HVAC AIR DUCT LEAKAGE TEST MANUAL	C403.2.7.1.3; ASHRAE 90.1–6.4.4.2.2
OMMISSIONING N BY AN APPROVED AGENCY. NER AND BE AVAILABLE TO CODE OFFICIAL UPON REQUEST.	łłC1	ELECTRICAL ENERGY CONSUMPTION: THE PRESENCE AND OPERATION OF INDIVIDUAL METERS OR OTHER MEANS OF MONITORING INDIVIDUAL APARTMENTS SHALL BE VERIFIED BY VISUAL INSPECTION FOR ALL APARTMENTS AND WHERE REQUIRED IN A COVERED TENANT SPACE	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.7
ON Js x 8 UNITS = 320,000 BTUs U/h	IIC2	LIGHTING IN DWELLING UNITS: LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE VISUALLY INSPECTED TO VERIFY COMPLIANCE WITH HIGH-EFFICACY REQUIREMENTS.	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.1; ASHRAE 90.1 -9.1.1
U/h S = 480.000 BTUs		INTERIOR LIGHTING POWER: INSTALLED LIGHTING SHALL BE VERIFIED FOR COMPLIANCE WITH THE LIGHTING POWER ALLOWANCE BY VISUAL INSPECTION OF FIXTURES, TRANSFORMERS.	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.5, C406.3; ASHRAE 90 -9.1, 9.2, 9.5, 9.6; 1RCNY §101-07(c)(3)(v)(C)4
I/h REQUIREMENTS OF NYCECC C405 SHALL BE PROVIDED TO BUILDING	IIC4	EXTERIOR LIGHTING POWER: INSTALLED LIGHTING SHALL BE VERIFIED FOR COMPLIANCE WITH SOURCE EFFICACY AND/OR THE LIGHTING POWER ALLOWANCE BY VISUAL INSPECTION OF FIXTURES, LAMPS, BALLASTS AND RELEVANT TRANSFORMERS.	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.6; ASHRAE 90.1-9.4.3; 1RCNY \$101-07(c)(3)(v)(C)4
OCCUPANCY	IIC5	LIGHTING CONTROLS: EACH TYPE OF REQUIRED LIGHTING CONTROLS, INCLUDING: OCCUPANT SENSORS · MANUAL INTERIOR LIGHTING CONTROLS · LIGHT-REDUCTION CONTROLS · AUTOMATIC LIGHTING SHUT-OFF · DAYLIGHT ZONE CONTROLS · SLEEPING UNIT CONTROLS · EXTERIOR LIGHTING CONTROLS SHALL BE VERIFIED BY VISUAL INSPECTION AND TESTED FOR FUNCTIONALITY AND PROPER OPERATION	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.2; ASHRAE 90.1 -9.4.1 (as modified by section ECC A102)
		MAINTENANCE INFORMATION: MAINTENANCE MANUALS FOR MECHANICAL, SERVICE HOT WATER AND ELECTRICAL EQUIPMENT AND SYSTEMS REQUIRING PREVENTIVE MAINTENANCE SHALL BE REVIEWED FOR APPLICABILITY TO INSTALLED EQUIPMENT AND SYSTEMS BEFORE SUCH MANUALS ARE PROVIDED TO THE OWNER. LABELS REQUIRED FOR SUCH EQUIPMENT OR SYSTEMS SHALL BE INSPECTED FOR ACCURACY AND COMPLETENESS	PRIOR TO SIGN- OFF OR ISSUANCE OF CERTIFICATE OF OCCUPANCY	APPROVED CONSTRUCTION DOCUMENTS, INCLUDING ELECTRICAL DRAWINGS WHERE APPLICABLE; ASHRAE GUIDELINE 4: PREPARATION OF OPERATING AND MAINTENANCE DOCUMENTATION FOR BUILDING SYSTEMS	C303.3, C408.2.5.2; ASHRAE 90.1-4.2.2.3, 6.7.2.2, 8.7.2, .7.2.2

BFS Architect P.C. 150-55c 14 Avenue 1st Floor Whitestone, NY 11357 Tel: (718) 701-5959 Fax: (718) 701-5960 www.platonicsolidsarch.com info@platonicsolidsarch.com Architecture Consulting Expediting IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. CONTRACTOR IS TO VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. USE DIMENSIONS. DRAWINGS ARE NOT TO BE SCALED. SEAL PROJECT LOCATION 129-24 Merrick Blvd Jamaica NY, 11434 OWNER INFORMATION 129-24 Merrick Blvd LLC 77-25 164th St Queens NY 11432 DRAWING TITLE Energy Notes, Progress Inspections & COMCheck NWOHS Σ  $\infty$ CHECKED BY B. SALIN JOB NO. 29, DRAWN BY SCALE AS DATE NO. DATE REVISION APPROVAL STAMPS **Devin Phillips** OCT 3/1 2019 EXAMINED FOR ZONING EDRESS APPLICATION NO DEPT BLDGS JOB NO. 421699790 Scan Code ESHS2211265 DRAWING NO. 5 of 25







<u>WALL\_AREA (TYPE\_#45);</u> (BLOCK) **©**4TH FL\_SIDE 1 & BULKHEAD

WALL\_AREA (TYPE #4): (BLOCK) ©1ST FL SIDE 1

WALL\_AREA (TYPE #1): (CONCRETE) @CELLAR

 $67.00 \times 9.75 = 653.25 \text{ SF}$ 

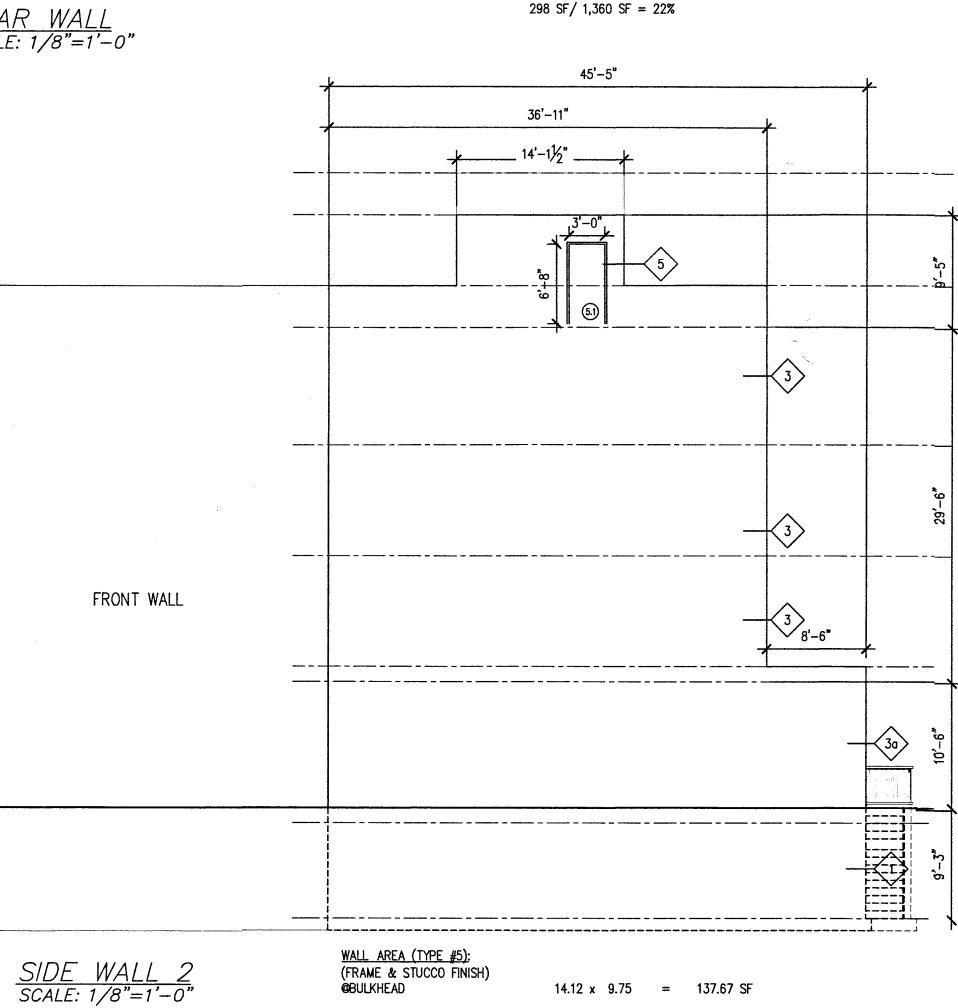
 $\frac{14.12 \times 9.75}{=} \frac{137.67 \text{ SF}}{790.92 \text{ SF}}$ 

 $75.50 \times 10.50 = 792.75 \text{ SF}$ 

75.50 x 9.25 = 698.37 SF

#### WALL (FRAME **G**BULKH

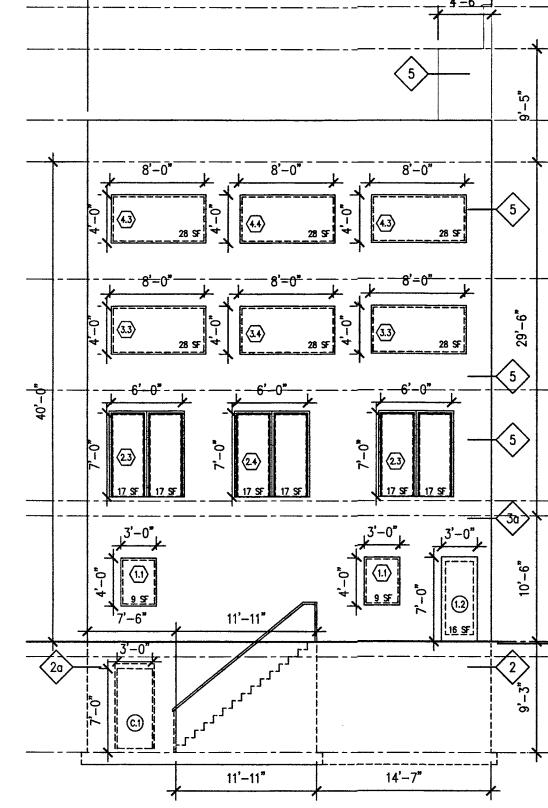




WALL AREA (TYPE #5): (FRAME & STUCCO FINISH) @BULKHEAD	14
DOORS:	5.1- (3.
WALL_AREA (TYPE #3): (BLOCK & STUCCO FINISH) @2-4TH FL SIDE 2	3(
<u>WALL_AREA (TYPE #30):</u> (BLOCK & STUCCO FINISH) Ø1ST FL_SIDE 2	4

WALL\_AREA (TYPE #1): (CONCRETE) @CELLAR

3'-0"	3'-0" 3'-0" 3'-0" 3'-0" 3'-0" 3'-0" 3'-0" 3'-0" 3'-0" 3'-0" 3'-0" 3'-0" 3'-0"	_
	14 <sup>2</sup> -7 <sup>#</sup>	_
<u>REAR WALL</u> SCALE: 1/8"=1'-0"	+	
	· · · · · · · · · · · · · · · · · · ·	



34'-0"

; ISH)		4.50 x	9.41	=	42.35 SF	
<u>:</u> ISH)		29.25 x	29.50	=	862.87 SF	
	3.2-	(8.00 x	4.00) x 2 4.00) x 2 4.00) x 2	2 =	64.00 SF 64.00 SF <u>64.00 SF</u> 192.00 SF	
: ISH) S		29.50 x	12.41	=	366.09 SF	
	3.1-	(9.00 x	7.00) x 1 7.00) x 1 7.00) x 1	=	63.00 SF 63.00 SF <u>63.00 SF</u> 381.00 SF	
<u>ı):</u> H)						
		6.50 x 1		=	488.25 SF	
	1.2-	(7.50 x \$	5.66) x 2	=	84.90 SF	
			7.83) x 1 7.83) x 2		46.98 SF <u>46.98 SF</u> 93.96 SF	

 $46.50 \times 9.25 = 430.12 \text{ SF}$ 

<u>WALL_AREA (TY</u> (FRAME & STUC @BULKHEAD		4.50 x 9.41	=	42.35 SF
<u>WALL_AREA (TY</u> (FRAME & STUC ©2-4TH FL REA	CO FINISH)	34.00 x 29.50	=	1,003.00 S <sub>F</sub>
DOORS:		- (6.00 x 7.00) x - (6.00 x 7.00) x		84.00 SF <u>42.00 SF</u> 126.00 SF
WINDOW AREA:	3.4- 4.3-	- (8.00 x 4.00) x - (8.00 x 4.00) x - (8.00 x 4.00) x - (8.00 x 4.00) x	1 = 2 =	32.00 SF
WALL AREA (TY (BLOCK & STUC Ø1ST FL		33.83 x 10.50	=	355.21 SF
WINDOW AREA:	1.1-	(3.00 x 4.00) x 1	2 =	24.00 SF
DOORS:	1.2-	- (3.00 x 7.00) x	1 =	21.00 SF
WALL AREA (TY (CONCRETE) @CELLAR TOTAL		34.00 x 9.25	Ξ	314.50 SF
(ABOVE GRADE	WALL) (9.25 x 7.50) +	[(9.25 x 11.91)/2	2] =	124.50 SF
DOORS:		- (3.00 x 7.00) x	1 =	21.00 SF
<u>WALL AREA (TY</u> (CONCRETE) ©CELLAR	<u>PE #2):</u> (9.25 x 14.58) +	[(9.25 x 11.91)/2	:] =	190.00 SF

WINDOWS & DOORS/WALL:

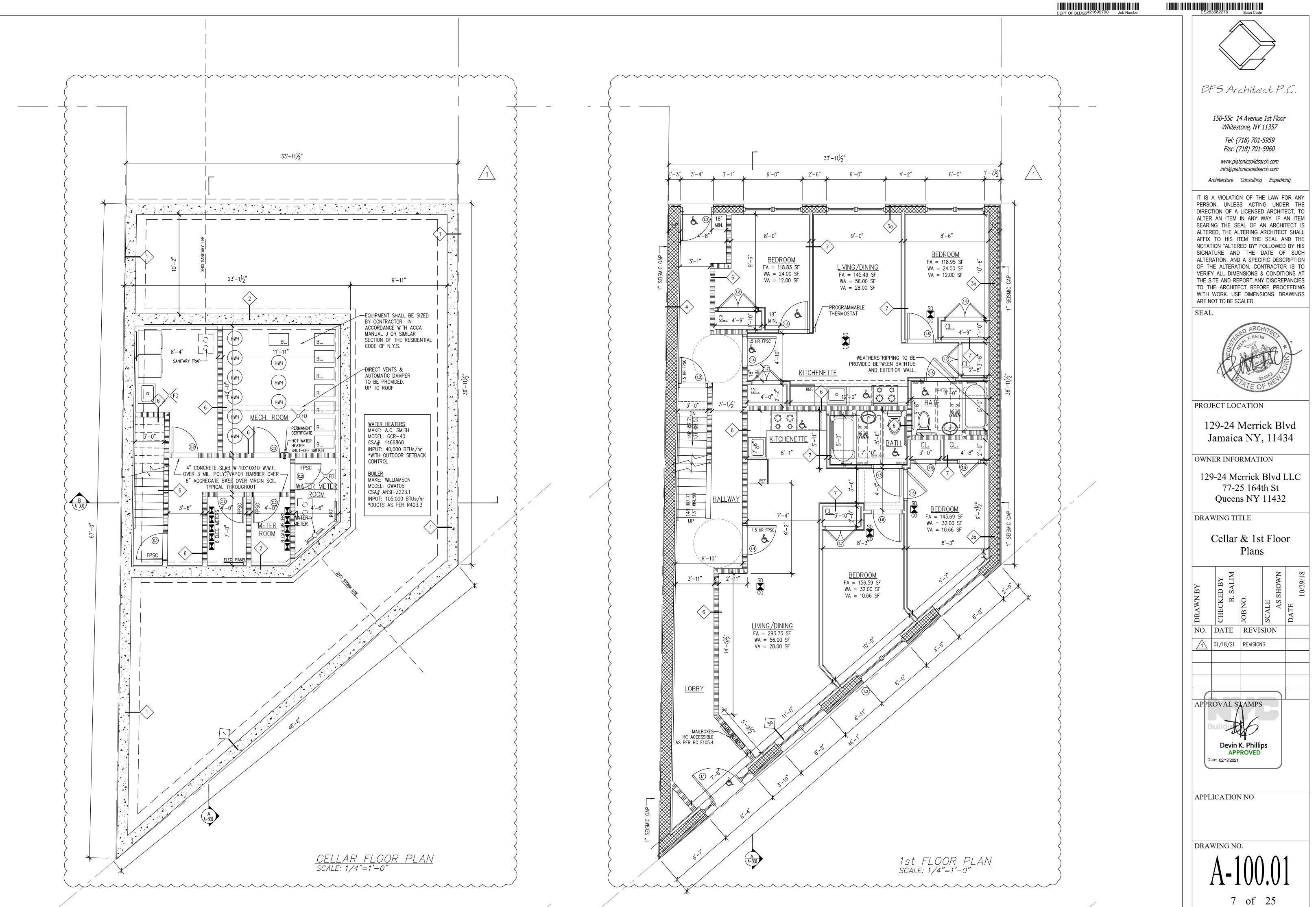
28 SF x 6 = 168 SF16 SF x 6 = 96 SF9 SF x 2 = 18 SF16 SF x 1 = 16 SFWINDOWS = 298 SF

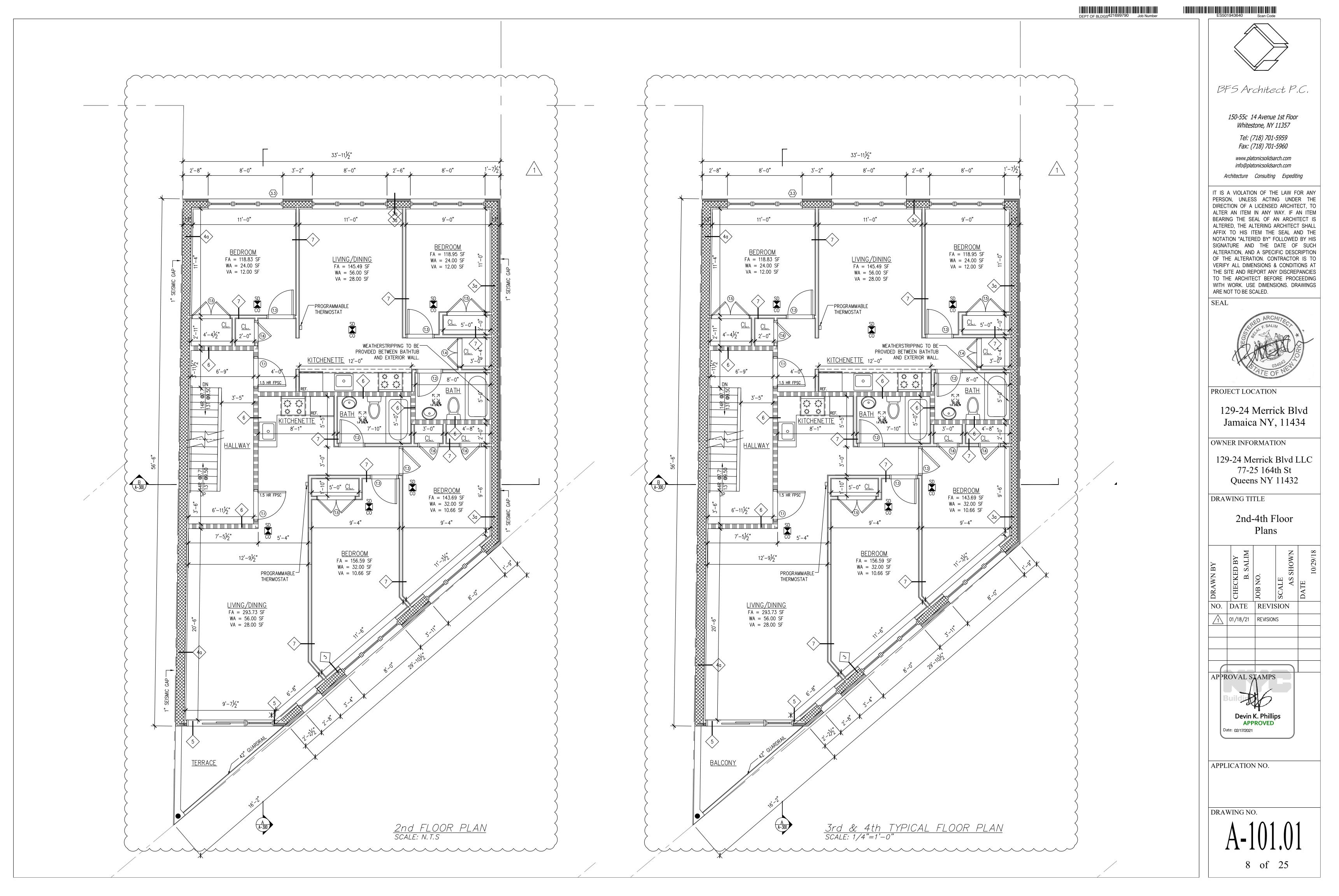
WALL = 1,860 SF

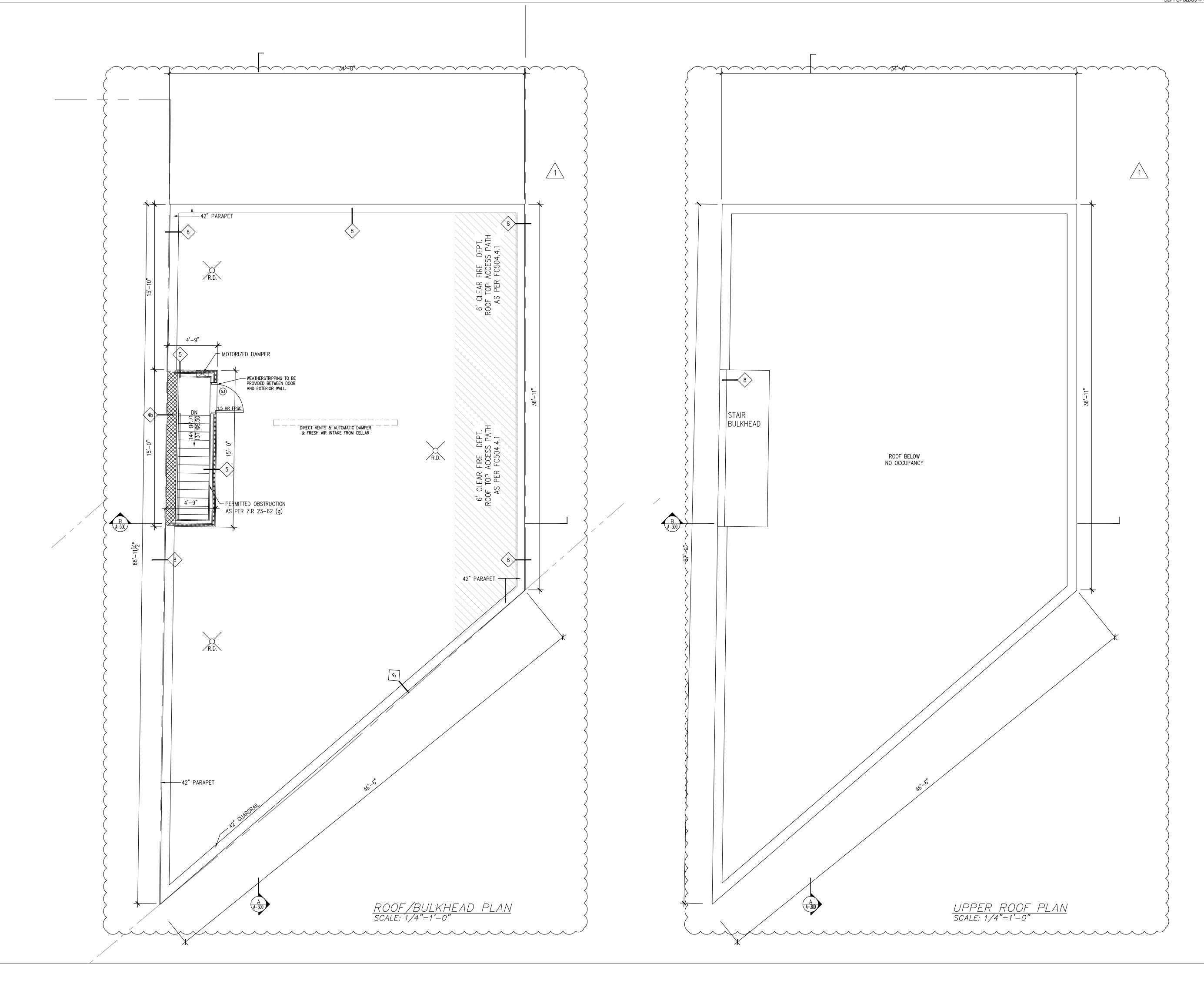
14.12 x 9.75	=	137.67 SF
(3.00 x 6.66) x 1	=	19.98 SF
36.91 x 29.50	=	1,088.84 SF
45.41 x 10.50	=	476.81 SF
9.25 x 45.41	=	420.04 SF

BFS Architect P.C. 150-55c 14 Avenue 1st Floor Whitestone, NY 11357 Tel: (718) 701-5959 Fax: (718) 701-5960 www.platonicsolidsarch.com info@platonicsolidsarch.com Architecture Consulting Expediting IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. CONTRACTOR IS TO VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. USE DIMENSIONS. DRAWINGS ARE NOT TO BE SCALED. SEAL **PROJECT LOCATION** 129-24 Merrick Blvd Jamaica NY, 11434 OWNER INFORMATION 129-24 Merrick Blvd LLC 77-25 164th St Queens NY 11432 DRAWING TITLE Energy diagrams NWOHS D BY SALIM DRAWN BY NO B. XEI DATE NO. DATE REVISION APPROVAL STAMPS **Devin Phillips** OCT 3 T 2019 FYAMINED FOR ZONING, EGRESS AN FIRE PREVENTION ONLY, AS PER DIR. 2/75 APPLICATION NO. DEPT BLDGS Job No. 421699790 Scan Code ESHS0063158 DRAWING NO.

6 of 25

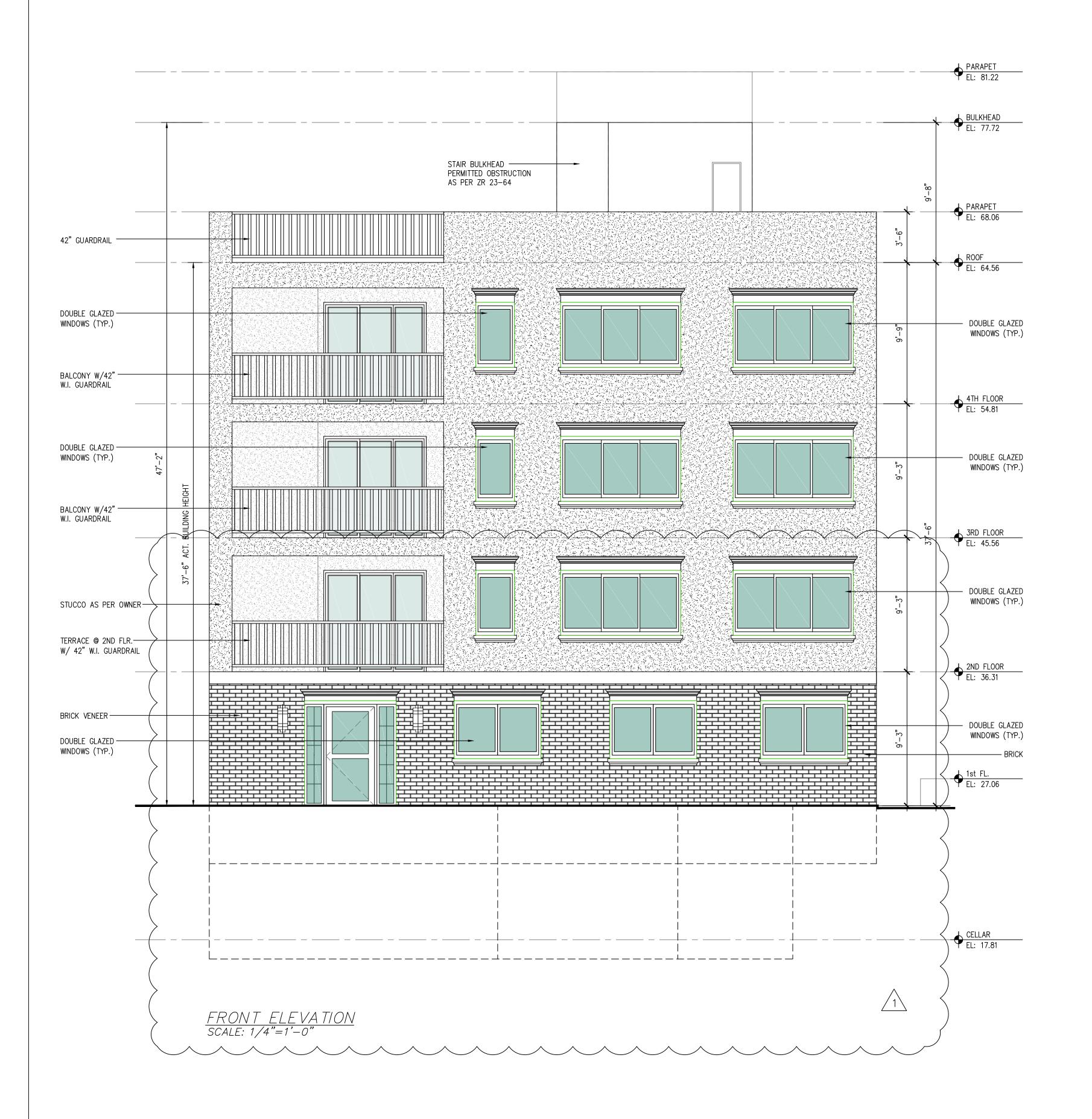


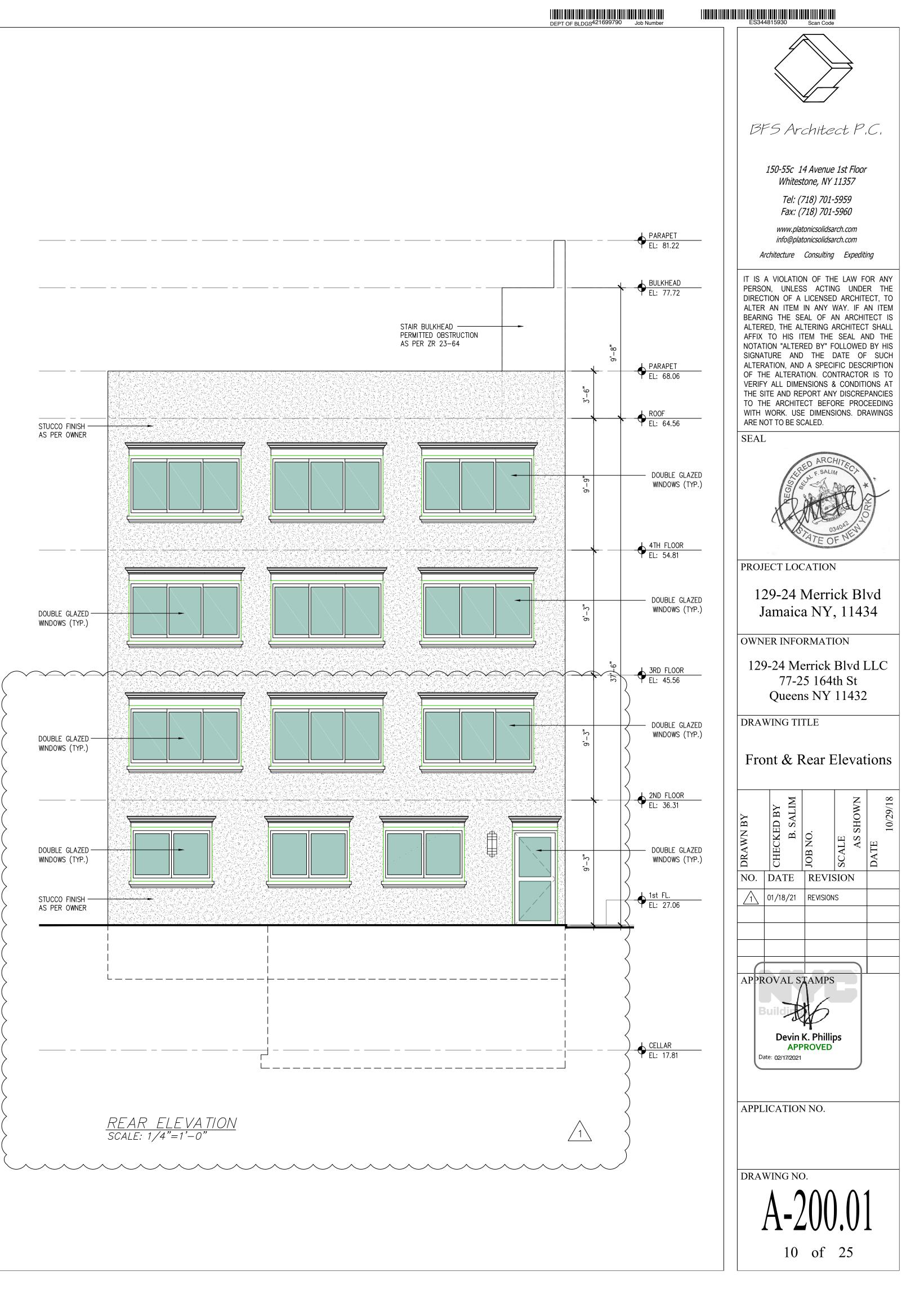


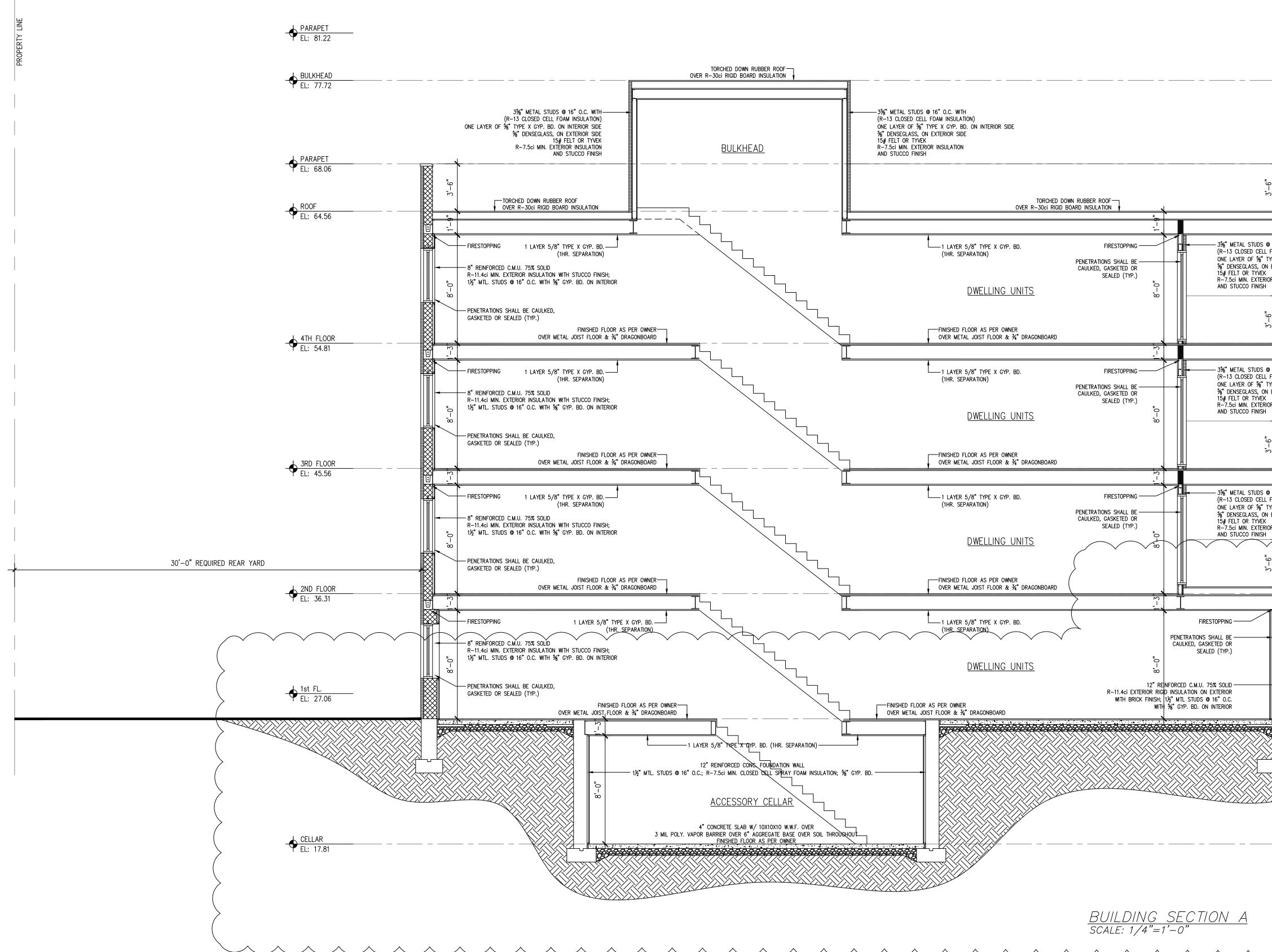


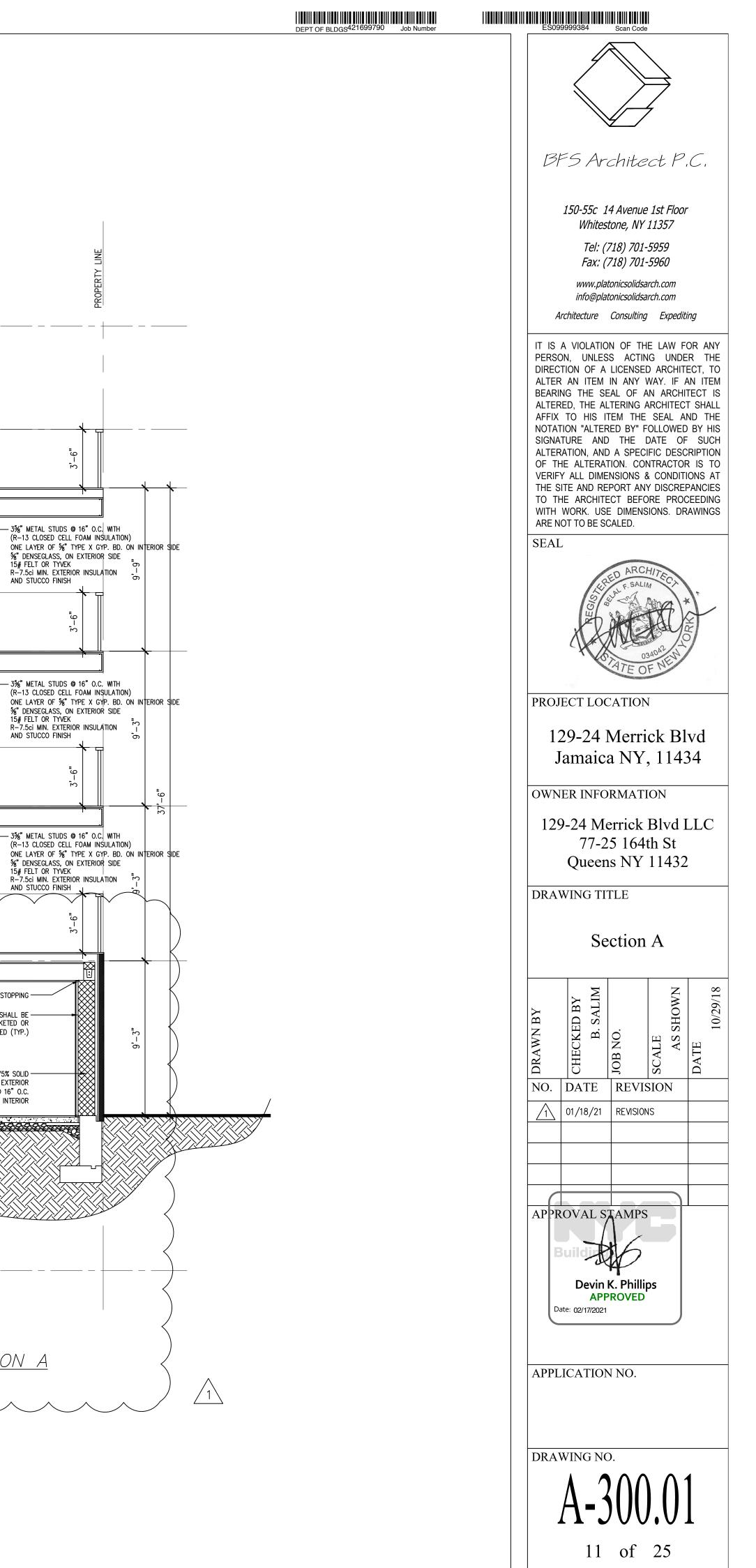












D	DOOR SCHEDULE					
NO.	LOCATION	SIZE	MATERIAL	U-FACTOR	SGHC VALUE	REMARKS
(C.1)	OUTSIDE EXIT	3'-0" X 7'-0"	ALUMN/GLASS		0.32	AIR LEAKAGE < 0.3 CFM/SF OWNER TO SELECT MANUFACTURER
<u>C.2</u>	STAIRS	3'-0" X 6'-8"	HOLLOW METAL	NOT APPLICABLE	NOT APPLICABLE	NEW FPSC 1 1/2 HR
<u> </u>	BOILER	3'-0" X 6'-8"	HOLLOW METAL	NOT APPLICABLE	NOT APPLICABLE	NEW FPSC 1 1/2 HR
<u>(C.4</u> )	METER RM	3'-0" X 6'-8"	HOLLOW METAL	NOT APPLICABLE		NEW FPSC 1 1/2 HR
0.5	WATER METER RM	3'-0" X 6'-8"	HOLLOW METAL	NOT APPLICABLE	NOT APPLICABLE	NEW FPSC 1 1/2 HR
(1.1)	LOBBY ENTRY	6'-0" X 7'-10"	ALUMN/GLASS	0.28	0.24	AIR LEAKAGE < 0.3 CFM/SF OWNER TO SELECT MANUFACTURER
1.2	LOBBY EXIT	3'-0" X 7'-0"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
1.3	BATHROOM	3'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
1.4	LIFT	3'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
(1.5)	STORE ENTRY	3'-0" X 7'-10"	ALUMN/GLASS	0.28	0.24	AIR LEAKAGE < 0.3 CFM/SF OWNER TO SELECT MANUFACTURER
			· ·			
2.1	APARTMENT ENTRY	3'-0" X 6'-8"	HOLLOW METAL	NOT APPLICABLE	NOT APPLICABLE	NEW FPSC 1 1/2 HR
2.2	BEDROOMS	3'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
2.3	LIFT	3'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
2.4	BEDROOM CLOSET	4'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
2.5	BATHROOM	3'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
2.6	BEDROOM CLOSET	2'-4" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
2.7	CLOSET	3'-6" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
2.8	CLOSET	4'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
(2.9)	CLOSET	2'-4" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
3.1	APARTMENT ENTRY	3'-0" X 6'-8"	HOLLOW METAL	NOT APPLICABLE	NOT APPLICABLE	NEW FPSC 1 1/2 HR
	BEDROOMS	3'-0" X 6'-8"		NOT APPLICABLE		OWNER TO SELECT MANUFACTURER
3.3	CLOSET	3'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	
3.4	BEDROOM CLOSET	4'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	
(3.5)	BATHROOM	3'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	
3.6	BEDROOM CLOSET	2'-4" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
3.7	CLOSET	3'-6" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	
3.8	CLOSET	4'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	
(3.9)	CLOSET	2'-4" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
(4.1)	APARTMENT ENTRY	3'-0" ¥ 6'-8"	HOLLOW METAL	NOT APPLICABLE		NEW FPSC 1 1/2 HR
(4.1) (4.2)	BEDROOMS	3'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	
-	CLOSET	3'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	
4.3	BEDROOM CLOSET	4'-0" X 6'-8"	WOOD			OWNER TO SELECT MANUFACTURER
4.4	BATHROOM CLUSET	$3'-0" \times 6'-8"$	WOOD	NOT APPLICABLE	NOT APPLICABLE	
(4.5)				NOT APPLICABLE	NOT APPLICABLE	
(4.6)	BEDROOM CLOSET	2'-4" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
4.7	CLOSET	3'-6" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
4.8	CLOSET	4'-0" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	
4.9	CLOSET	2'-4" X 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER

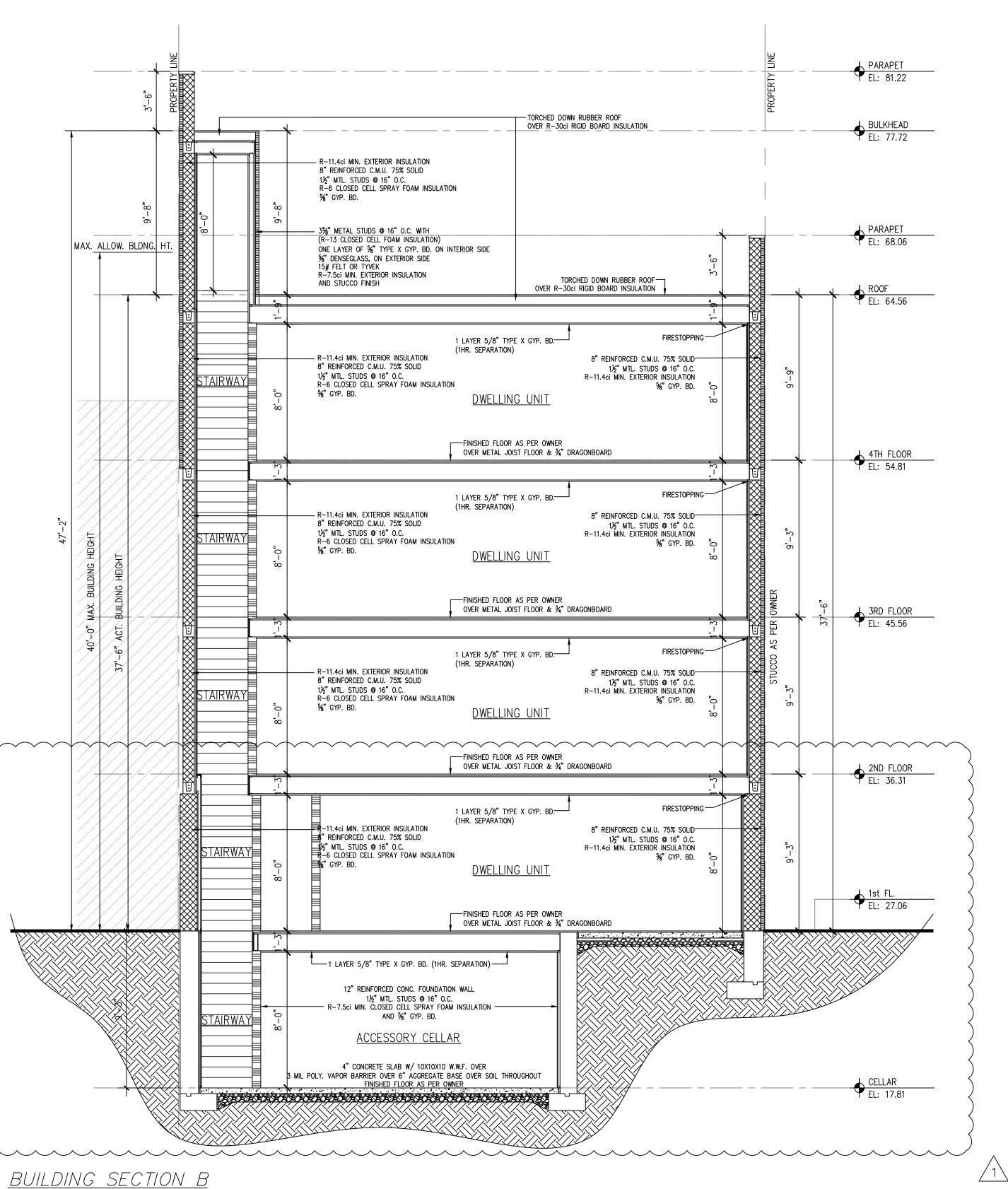
#### WINDOW SCHEDULE

		1	1				1	
NO.	LOCATION	SIZE	MATERIAL	EXT. FINISH	U-FACTOR	SGHC VALUE	GLASS	REMARKS
(1.1)	LOBBY	3'-0" X 4'-0"	WOOD	VINYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
(1.2)	RETAIL	7'-6" X 7'-10"	METAL FRAME	VINYL	0.32	0.25	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
2.1	TERRACE	9'-0" X 7'-0"	WOOD	VINYL	0.31	0.25	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
2.2	BEDROOM	8'-0" X 4'-0"	WOOD	VINYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
2.3	BEDROOM	6'-0" X 7'-0"	WOOD	VINYL	0.31	0.25	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
2.4	LIVING/DINING	6'-0" X 7'-0"	WOOD	VINYL	0.31	0.25	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
3.1	TERRACE	9'-0" X 7'-0"	WOOD	VINYL	0.31	0.25	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
3.2	BEDROOM	8'-0" X 4'-0"	WOOD	VINYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
3.3	BEDROOM	8'-0" X 4'-0"	WOOD	VINYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
3.4	LIVING/DINING	8'-0" X 4'-0"	WOOD	VINYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
4.1	TERRACE	7'-0" X 9'-0"	WOOD	VINYL	0.31	0.25	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
4.2	BEDROOM	3'-0" X 4'-0"	WOOD	VINYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
4.3	BEDROOM	8'-0" X 4'-0"	WOOD	VINYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
4.4	LIVING/DINING	8'-0" X 4'-0"	WOOD	VINYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER

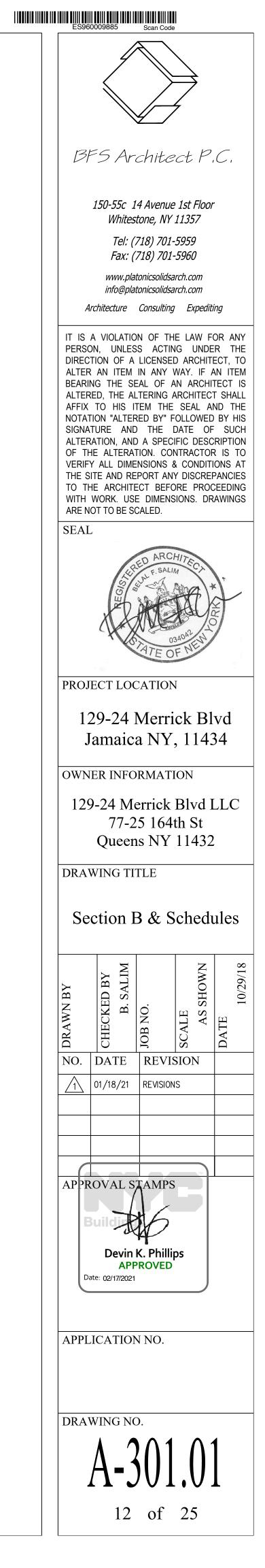
FENESTRATION NOTE:

AS PER NYCECC 402.4.4

WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT (1.5 L/S/M2), AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT (2.6 L/S/M2), WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 101/I.S.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.



BUILDING SECTION B SCALE: 1/4"=1'-0"



DEPT OF BLDGS<sup>421699790</sup> Job Number

## LIGHTING SCHEDULE

NO.	LOCATION	WATTS	# FIXTURES	COMMENTS
\$	MAIN ENTRY	15 WATTS	4 (105 WATTS)	20W PER LINEAR FOOT OF DOOR WIDTH ALLOWANCE
Φ <sub>2</sub>	OTHER EXTERIOR (BALCONIES & ROOF TERRACE)	15 WATTS	11 (225 watts)	20W PER LINEAR FOOT OF DOOR WIDTH ALLOWANCE
$\Phi_{3}$	MEANS OF EGRESS	23 WATTS	21 (483 WATTS)	CONTINUOUSLY LIGHTED, C405.2.2
\$	COMMON/SERVICE AREAS	23 WATTS	46 (1,058 WATTS)	
$\Phi_{5}$	LOBBY (OTHER THAN EGRESS)	25 WATTS	13 (325 watts)	
$\Phi_{6}$	DWELLING UNITS	13 WATTS	117 (1,521 watts)	
\$- 	COMMERCIAL	13 WATTS	45 (585 WATTS)	

# LIGHTING CONTROLS NARRATIVE

TYPE	LOCATION	TYPE OF DEVICE	INTENT OF CONTROL
\$	MEANS OF EGRESS	MANUAL CONTROL	MANUAL CONTROL NOT ACCESSIBLE TO PUBLIC (24HR CONTINUALLY ON)
\$ \$	LOBBY (NON EGRESS) & BUILDING EXTERIOR	PHOTO SENSOR / TIME SWITCH	AUTOMATICALLY TURNS OFF THE POWER WHEN DAYLIGHT IS AVAILABLE OR WHEN TIMER IS SCHEDULED FOR (CONTROLS AS PER C405.2.2 & C405.2.3)
\$	SERVICE AREAS	OCCUPANCY SENSOR	AUTOMATICALLY TURNS ON THE POWER WHEN MOTION IS DETECTED & SHUTS OFF AFTER 20 MINS OF ALL OCCUPANTS LEAVING THE SPACE (CONTROLS AS PER C405.2.1)
\$ \$	WITHIN DWELLING UNITS/COMMERCIAL	MANUAL CONTROL	MANUAL ON/OFF (DIMMER OPTIONAL)

#### LIGHTING NARRATIVE:

ALL LIGHTING SYSTEMS SHALL COMPLY WITH C405.

LIGHTING SYSTEMS SHALL BE PROVIDED WITH CONTROLS AS SPECIFIED IN SECTIONS C405.2.1, C405.2.2, C405.2.3 AND C405.2.4 LIGHTING FIXTURES & LOCATION INDICATED ON REFLECTED CEILING PLANS AND LIGHTING SCHEDULE.

PROPOSED BUILDING IS 100% RESIDENTIAL DWELLING UNITS AND SHALL NOT BE REQUIRED TO COMPLY WITH SECTIONS C405.2 THROUGH C405.5, PROVIDED THAT THEY COMPLY WITH SECTION R404.1

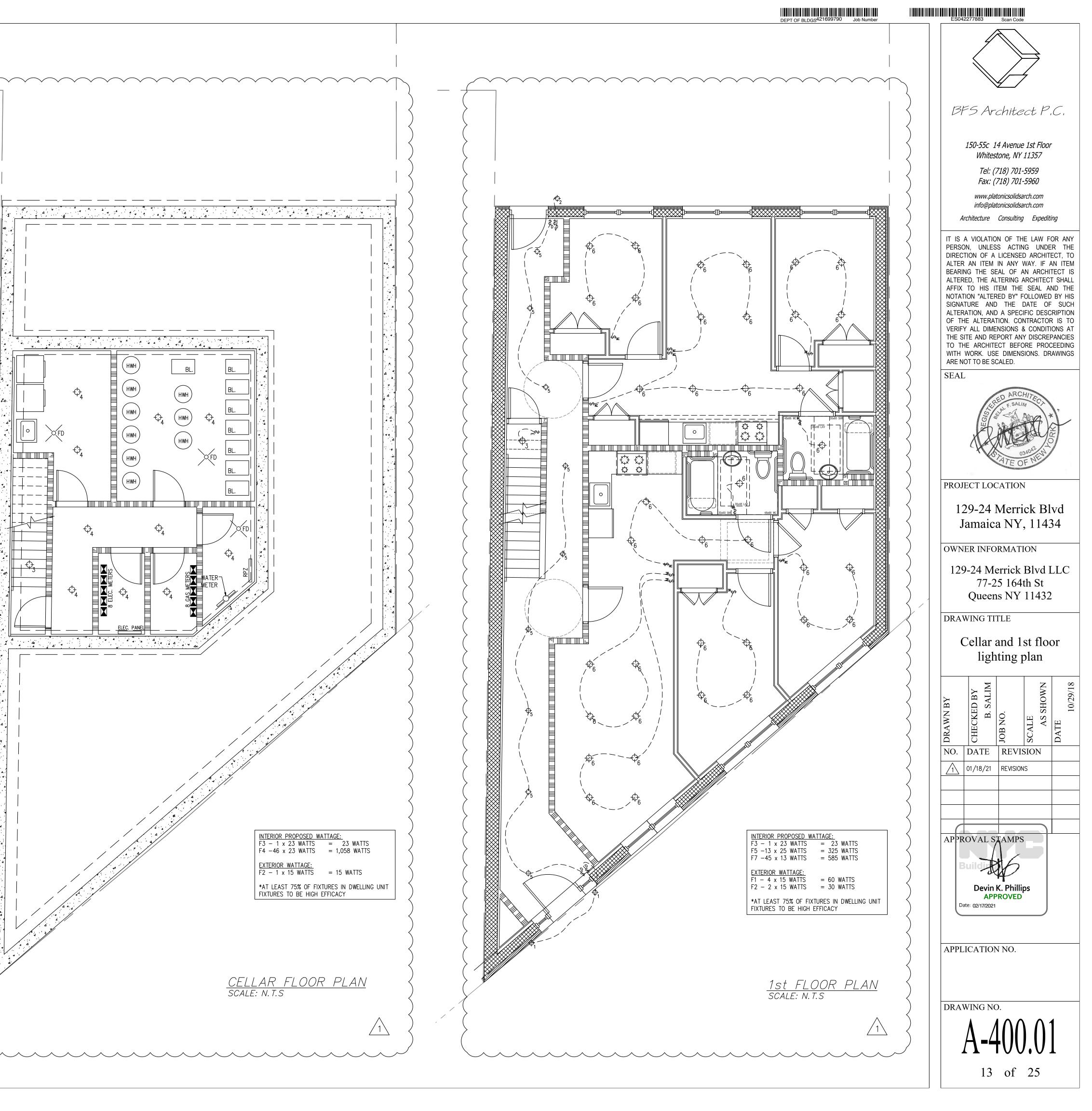
R404.1 LIGHTING EQUIPMENT- NOT LESS THAN 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS. CERTIFICATION THAT INSTALLED LIGHTING CONTROLS MEET REQUIREMENTS OF NYCECC C405 SHALL BE PROVIDED TO BUILDING OWNER WITHIN 90 DAYS FROM RECEIVING CERTIFICATE OF OCCUPANCY

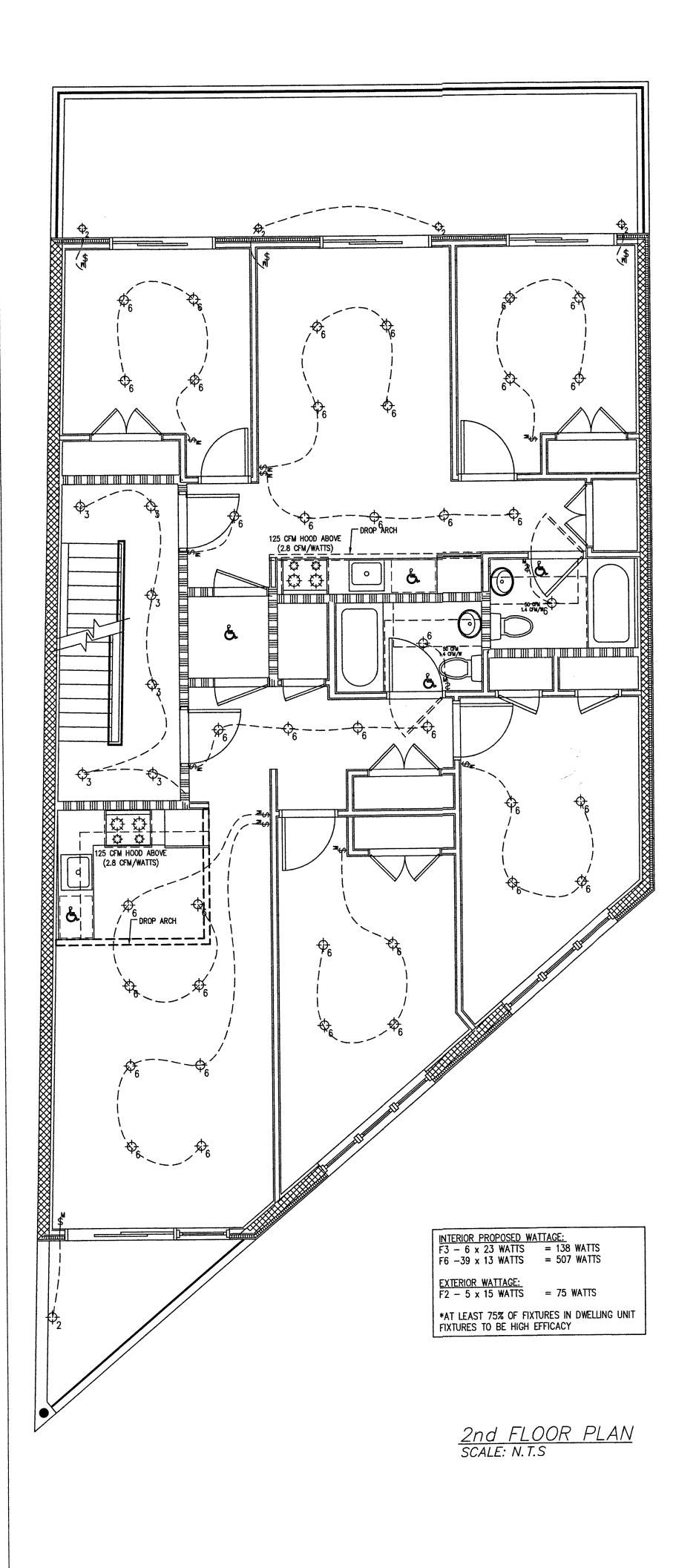
INTERIOR LIGHTING	TABLE C405.4.2(1) BUILDING LIGHTING POWER EFFECIENC	AREA METHOD & REDUCED Y C406.3		
BUILDING AREA TYPE	FLOOR AREA	LPD (WTS/SF)	ALLOWABLE WATTS	PROPOSED WATTS
MULTIFAMILY	6,226.12 SF	MAX. 0.46 WATTS/SQ.FT. (90%)	6,226.12 x 0.46 = 2,864.01 WATTS	1,866 WATTS
RETAIL	1,501.86 SF	MAX. 1.13 WATTS/SQ.FT. (90%)	1,501.86 x 1.13 = 1,697.10 WATTS	585 WATTS

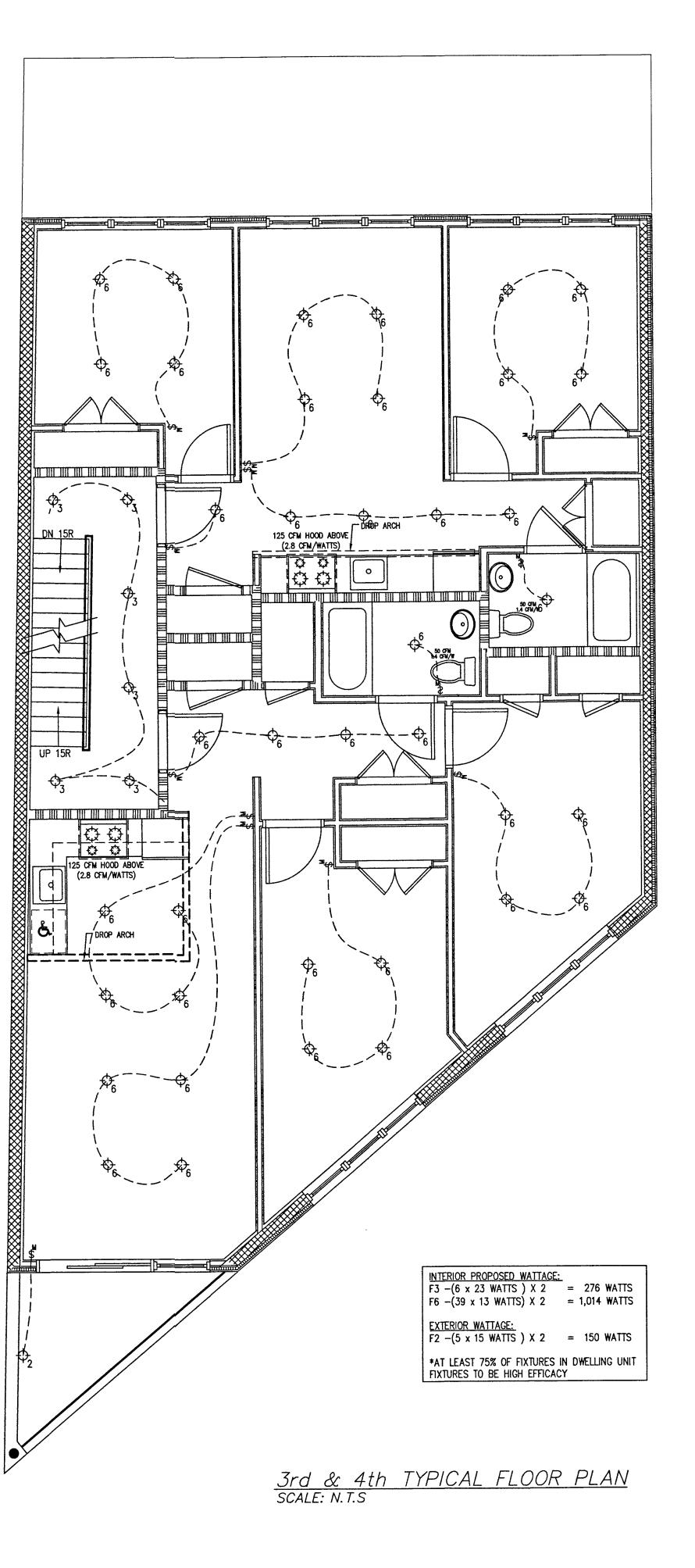
# EXTERIOR LIGHTING POWER ALLOWANCE

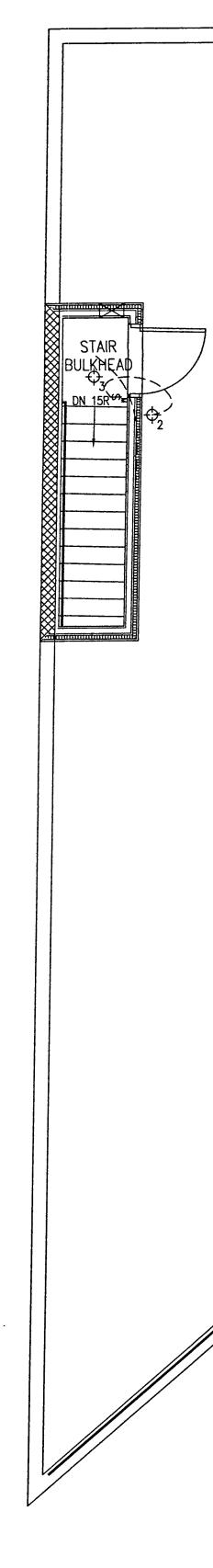
BUILDING AREA TYPE LINEAR FEET LPD (WTS/LF) ALLOWABLE WATTS PROPOSED WATTS  $9.0 \times 20 = 180 \text{ WATTS}$ 60 WATTS MAIN ENTRY (F1) 9.0 LF MAX. 20 WATTS/LF OF WIDTH 45.0 LF  $45.0 \times 20 = 900 \text{ WATTS}$ 165 WATTS REAR, BALCONIES & ROOF TOP (F2) MAX. 20 WATTS/LF OF WIDTH TOTAL 54.0 LF MAX. 20 WATTS/LF OF WIDTH 1,080 WATTS 225 WATTS

TABLE C405.5.2(2) LIGHTING ZONE: 2

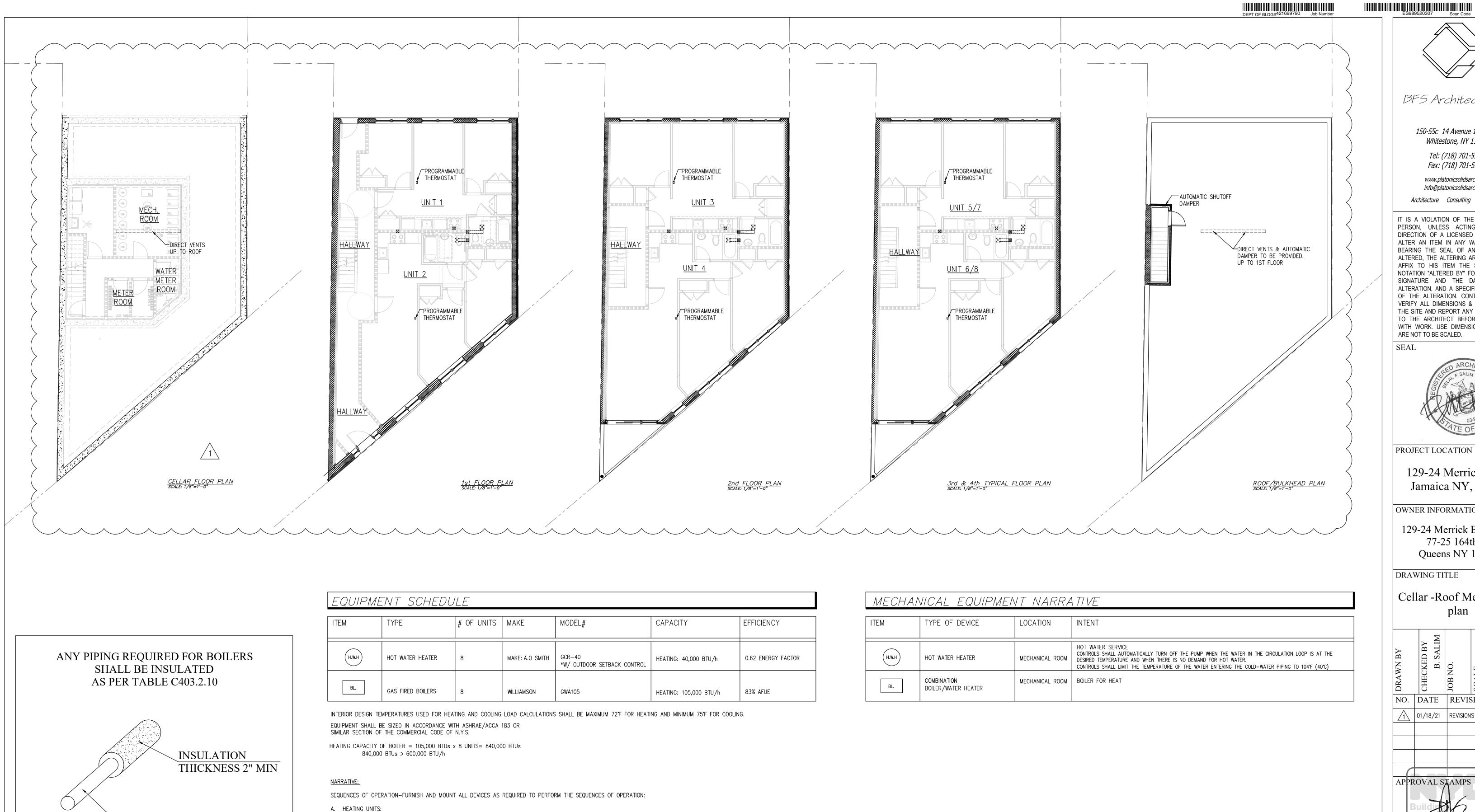


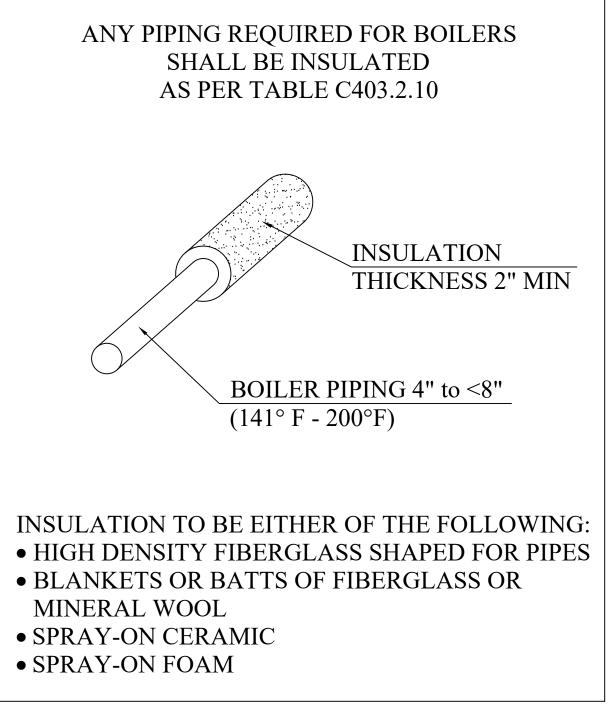






BFS Architect P.C. 150-55c 14 Avenue 1st Floor Whitestone, NY 11357 Tel: (718) 701-5959 Fax: (718) 701-5960 www.platonicsolidsarch.com info@platonicsolidsarch.com Architecture Consulting Expediting IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. CONTRACTOR IS TO VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. USE DIMENSIONS. DRAWINGS ARE NOT TO BE SCALED. SEAL PROJECT LOCATION 129-24 Merrick Blvd Jamaica NY, 11434 OWNER INFORMATION 129-24 Merrick Blvd LLC 77-25 164th St Queens NY 11432 DRAWING TITLE 2nd-4th floor & Bulkhead lighting plan SCALE AS SHOWN DATE CHECKED BY B. SALI JOB NO. DRAWN BY NO. DATE REVISION APPROVALSIAMIS Devin Phillips OCT 3, 1-2019  $\frac{\text{INTERIOR PROPOSED WATTAGE:}}{\text{F3} ~ 1 \times 23 \text{ WATTS}} = 23 \text{ WATTS}$ EXAMINED FOR ZONING, EGRESS AND FIRE PREVENTION ONLY, AS PER DIR. 275  $\frac{\text{EXTERIOR WATTAGE:}}{\text{F2} - 1 \times 15 \text{ WATTS}} = 15 \text{ WATTS}$ \*AT LEAST 75% OF FIXTURES IN DWELLING UNIT FIXTURES TO BE HIGH EFFICACY APPLICATION NO DEPT BLDGS Job No. 421699790 Scan Code ESHS6363362 <u>ROOF/BULKHEAD\_PLAN</u> scale: n.t.s DRAWING NO. 14 of 25



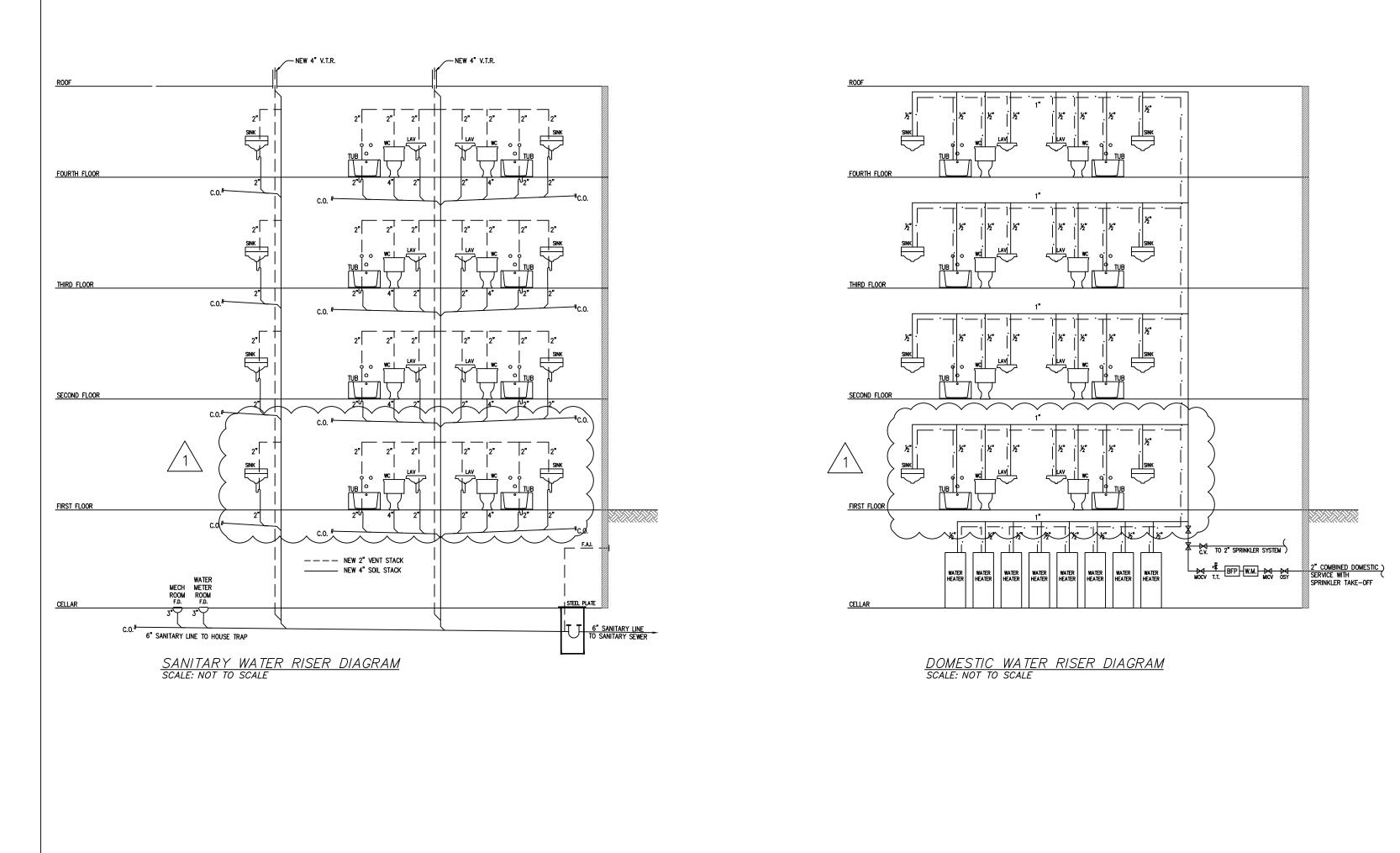


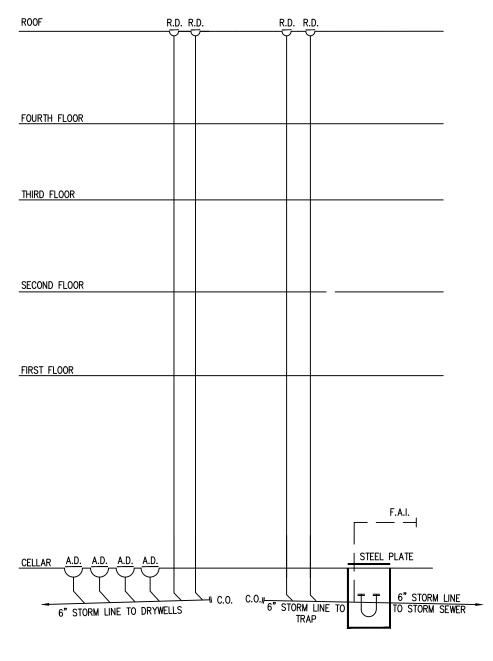
EQUIPMENT SCHEDULE						
ITEM	TYPE	# OF UNITS	MAKE	MODEL#	CAPACITY	EFFICIENCY
(H.W.H)	HOT WATER HEATER	8	MAKE: A.O SMITH	GCR-40 *W/ OUTDOOR SETBACK CONTROL	HEATING: 40,000 BTU/h	0.62 ENERGY FACTOR
BL.	GAS FIRED BOILERS	8	WILLIAMSON	GWA105	HEATING: 105,000 BTU/h	83% AFUE

- 1. UNITS SHALL BE AUTOMATICALLY STATED AND STOPPED VIA AN INDIVIDUAL DIGITALLY PROGRAMMABLE HEATING/COOLING THERMOSTAT WITH SEVEN-DAY TIME CLOCK CONTROL AND [LOCKING COVER OR TOTAL KEYPAD LOCKOUT WITH PASSWORD OVERRIDE] LOCATED WITHIN THE SEVERED SPACE. THE TIME SCHEDULE TO BE DETERMINED BY OWNER (E.G 8:00AM TO 6:00PM). THERMOSTATS TO INCLUDE TIMED OVERRIDE CAPABILITY TO OVERRIDE THE CLOCK SETTING IN THREE (3) HOUR INCREMENTS (ADJUSTABLE).
- 2. THERMOSTATS TO INCLUDE MULTIPLE STAGES AS REQUIRED BY EQUIPMENT CONTROLLED. 3. HEAT MODULE:
- THE HEATING/COOLING THERMOSTAT SHALL ENGAGE THE HEATER IN STAGES TO MAINTAIN A SPACE TEMPERATURE OF 72 DEGREES (ADJUSTABLE)
- B. VARIABLE AIR VOLUME BOXES:
- 1. PROVIDE ROOM THERMOSTATS (SENSOR). ONE PER VAV BOX. LOCATED AS INDICATED ON THE DRAWINGS TO MAINTAIN A 75°F SPACE TEMPERATURE (ADJUSTABLE) 2. THERMOSTATS/SENSORS:
- a.) THERMOSTATS/ SENSORS SHALL BE PROVIDED FOR EACH VAV BOX. b.) ALL ROOM THERMOSTATS/SENSORS SHALL HAVE LOCAL READOUT AND LOCAL ADJUSTMENT. ALL TEMPERATURE SENSORS AŚSOCIATED WITH SUPPLEMENTAL AIR CONDITIONAL SYSTEM SHALL BE EQUIPPED WITH A MANUAL OVERRIDE BUTTON TO ENGAGE THE SUPPLEMENTAL SYSTEM AFTER PRE-PROGRAMMED HOURS IN 1 HOUR INCREMENTS FOR 1 HOUR (ADJUSTABLE)
- C. EXHAUST/TRANSFER FANS:
- 1. FANS SHALL BE PROVIDED WITH ELECTRONIC TYPE ADJUSTABLE TIME CLOCKS INITIALLY SET TO THE BUILDING'S HOURS OF OPERATIONS. COORDINATE WITH ARCH/OWNER FOR EXACT LOCATION(S) INSTALL SPEED CONTROLLER AT FAN ABOVE HUNG CEILING FOR WIRING BY ELECTRICAL CONTRACTOR.

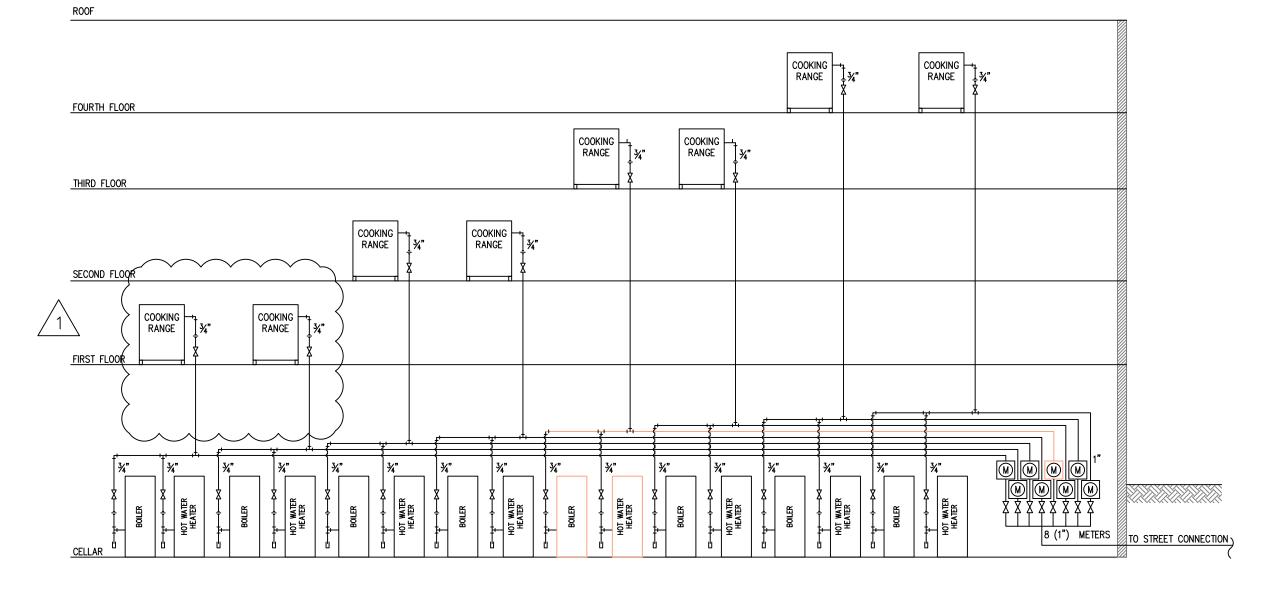
	r	1
ITEM	TYPE OF DEVICE	LOCATION
H.W.H	HOT WATER HEATER	MECHANICAL ROOM
BL.	COMBINATION BOILER/WATER HEATER	MECHANICAL ROOM

BFS Architect P,C,						
150-55c 14 Avenue 1st Floor Whitestone, NY 11357						
<i>Tel: (718) 701-5959 Fax: (718) 701-5960</i>						
www.platonicsolidsarch.com info@platonicsolidsarch.com						
Architecture Consulting Expediting						
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. CONTRACTOR IS TO VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. USE DIMENSIONS. DRAWINGS ARE NOT TO BE SCALED.						
Solution and the solution of t	ALL REALING CALLER					
ATEOFNE						
PROJECT LOCATION						
129-24 Merrick Blvd Jamaica NY, 11434						
OWNER INFORMATION						
129-24 Merrick Blvd LLC						
77-25 164th St Queens NY 11432						
DRAWING TITLE						
Cellar -Roof Mechanica	al					
NOI DATE SCALE DATE DRAWN BY CHECKED BY B. SALIM B. SALIM ASSHOWN	10/29/18					
01/18/21 REVISIONS						
APPROVAL STAMPS Build Devin K. Phillips APPROVED Date: 02/17/2021						
APPLICATION NO.						
DRAWING NO.						
M-100.01						
15 of 25						



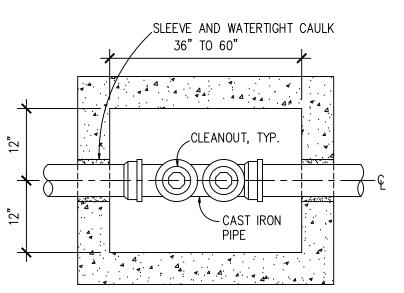


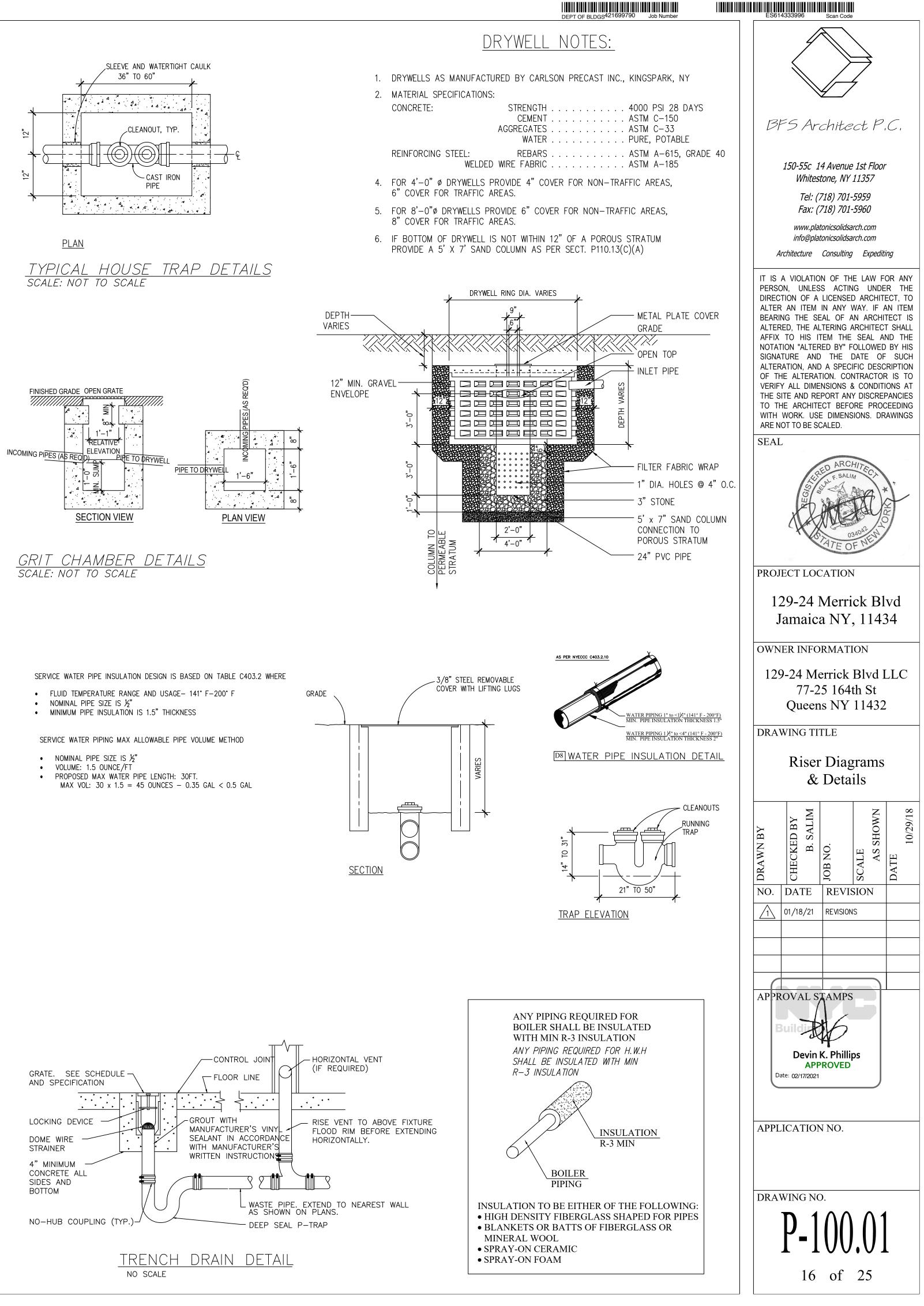
<u>STORM WATER RISER DIAGRAM</u> scale: not to scale

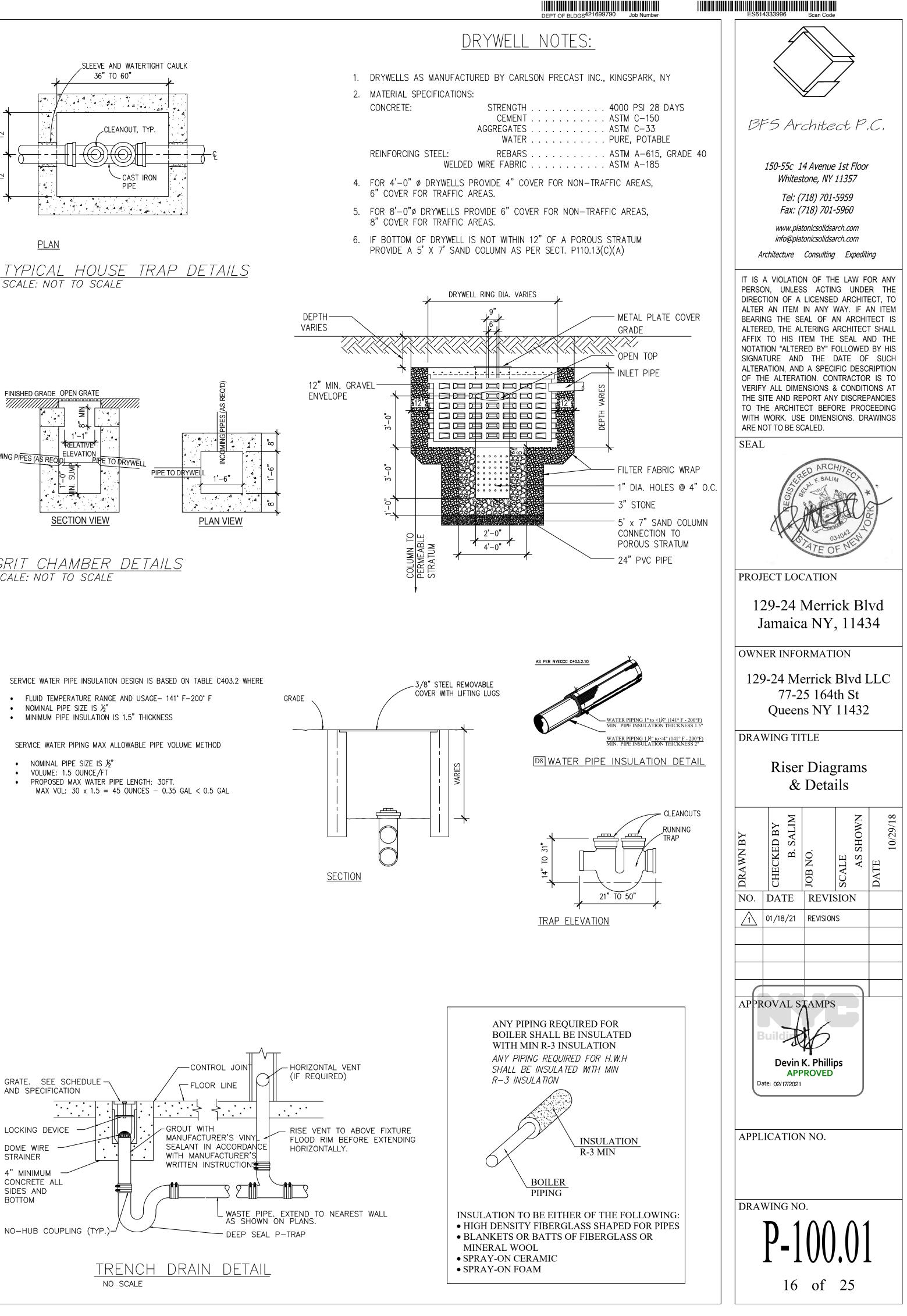


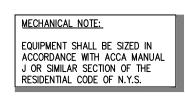
GAS RISER DIAGRAM SCALE: NOT TO SCALE

NYCECC CITATION	PROVISION	ITEM DESCRIPTION	CODE PRESCRIPTIVE VALUE	PROPOSED DESIGN VALUE
TABLE C404.2	HOT WATER HEATER	MAKE: A.O SMITH MODEL: GCR-40 *W/ OUTDOOR SETBACK CONTROL *W/ HEAT TRAP	CAPACITY: $\leq$ 75,000 BTU/h	CAPACITY: 40,000 BTU/h ENERGY FACTOR: 0.62
TABLE C403.2.3(5)	GAS FIRED BOILERS	MAKE: WILLIAMSON MODEL: GWA105	CAPACITY: < 300,000 BTU/h MIN. EFFICIENCY: 80% AFUE	CAPACITY: 105,000 BTU/h EFFICIENCY: 83% AFUE









#### GENERAL NOTES

- WORK MUST CONFORM TO THE REQUIREMENT OF THE NEW YORK CITY BUILDING CODE, FIRE DEPARTMENT REGULATIONS AND ALL APPLICABLE LAWS, UTILITY COMPANY REQUIREMENTS AND THE BEST TRADE PRACTICES AS WELL AS THE PROJECT SAFETY PLAN AND PROGRAM AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWING AND FIELD CONDITION TO THE PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT AND SHALL BE NOTIFIED IN WRITING PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL TAKE, AND BE RESPONSIBLE FOR, ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE WORK SITE SO THAT ALL WORK WILL BE PROPERLY JOINED TO THE EXISTING WORK. BEFORE COMMENCING WORK. HE SHALL EXAMINE ALL EXISTING WORK ON WHICH HIS WORK IS IN ANY WAY DEPENDENT FOR PERFECT WORKMANSHIP ACCORDING TO THE INTENT OF THESE SPECIFICATIONS AND SHALL REPORT TO THE ENGINEER ANY CONDITIONS WHICH WILL PREVENT HIM FROM PERFORMING HIS WORK IN A FIRST CLASS MANNER.
- . QUALIFIED ENGINEER SHALL BE ON SITE FOR CONTROLLED INSPECTION THROUGHOUT THE ENTIRE CONSTRUCTION OF UNDEPINNING/EXCAVATION AS PER NYC BUILDING CODE.

### CONCRETE NOTES

- DESIGN MATERIALS AND METHOD OF CONSTRUCTION SHALL COMPLY WITH NEW YORK CITY BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318 2002 OF THE AMERICAN CONCRETE INSTITUTE.
- . THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS FOR ALL CONCRETE SHALL BE 4000 PSI.
- 3. ALL CONCRETE FORM WORK SHALL BE CLEAN AND FREE FROM ANY DEBRIS.

# EXCAVATION NOTES

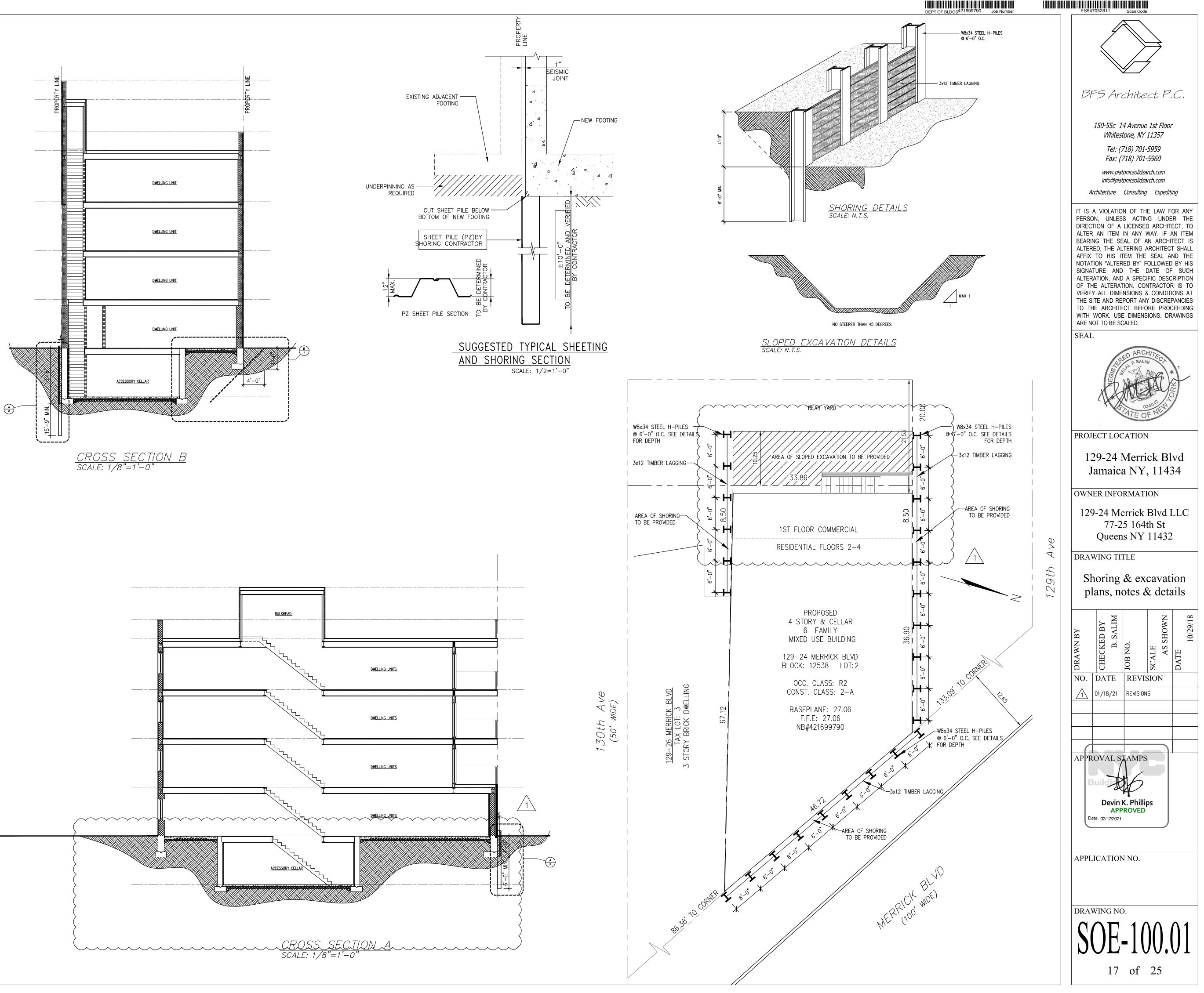
- PRIOR COMMENCING ANY WORK, CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- 2. THE DESIGN OF THE SOIL RETENTION SYSTEM WILL BE PROVIDED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE SOLELY AND FULLY RESPONSIBLE FOR DESIGN, INSTALLATION AND MAINTENANCE OF SHEETING AND SHORING. THE GENERAL CONTRACTOR SHALL ENGAGE AN ENGINEER LICENSED IN THE STATE OF NEW YORK TO DESIGN SHEETING AND SHORING NECESSARY TO CONSTRUCT FOUNDATION. TEMPORARY SHEETING AND SHORING DESIGN SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.
- ALL EXCAVATION SHALL BE BASED ON ENGINEERED DRAWINGS PREPARED BY THE CONTRACTOR INCLUDING PLANS AND SECTIONS OF EXCAVATION SEQUENCES.
- . THE GENERAL EXCAVATION ACROSS THE SITE SHALL NOT EXTEND DEEPER THAN THE FOUNDATION ELEVATION. THE EXCAVATIONS FOR FOOTINGS, GRADE BEAMS, PITS, SLABS, ETC. SHALL BE EXCAVATED ON AN INDIVIDUAL, LOCALIZED BASIS.
- THE CONTRACTOR SHALL PROVIDE POSITIVE PROTECTION (MAT/SHEET COVERINGS) FOR ALL EXCAVATION SLOPES TO PROTECT THEM FROM INSTABILITY AND DETERIORATION DUE TO RAIN, WIND OR SNOW/ICE.
- 6. THE CONTRACTOR SHALL PROVIDE SURFACE DRAINAGE CHANNELS AND SUMPS AND SUMP PUMPS TO PROTECT ALL EXCAVATIONS FROM FLOODING. FLOODING OF ANY PREPARATION AND APPROVAL OF THE SUBGRADE.
- THE CONTRACTOR'S SOIL TESTING LABORATORY SHALL REVIEW AND MONITOR THE EXCAVATION, DEWATERING AND SOIL RETENTION SYSTEMS. THE CONTRACTOR SHALL PROVIDE, INSTALL AND SURVEY: 7.1. VERTICAL AND HORIZONTAL MOVEMENTS OF THE TOP OF THE SOIL RETENTION
- SYSTEM: AND 7.2. BENCHMARKS ADJACENT TO AND AWAY FROM THE SITE PERIMETER FOR VERTICAL AND HORIZONTAL MOVEMENTS.
- 8. UTILITY IDENTIFICATION AND EXPLORATION AS NECESSARY BY GENERAL CONTRACTOR.
- 9. COORDINATE ALL WORK WITH PLUMBING AND ELECTRICAL DRAWINGS FOR UNDER GROUND UTILITY AND GROUNDING REQUIREMENTS.

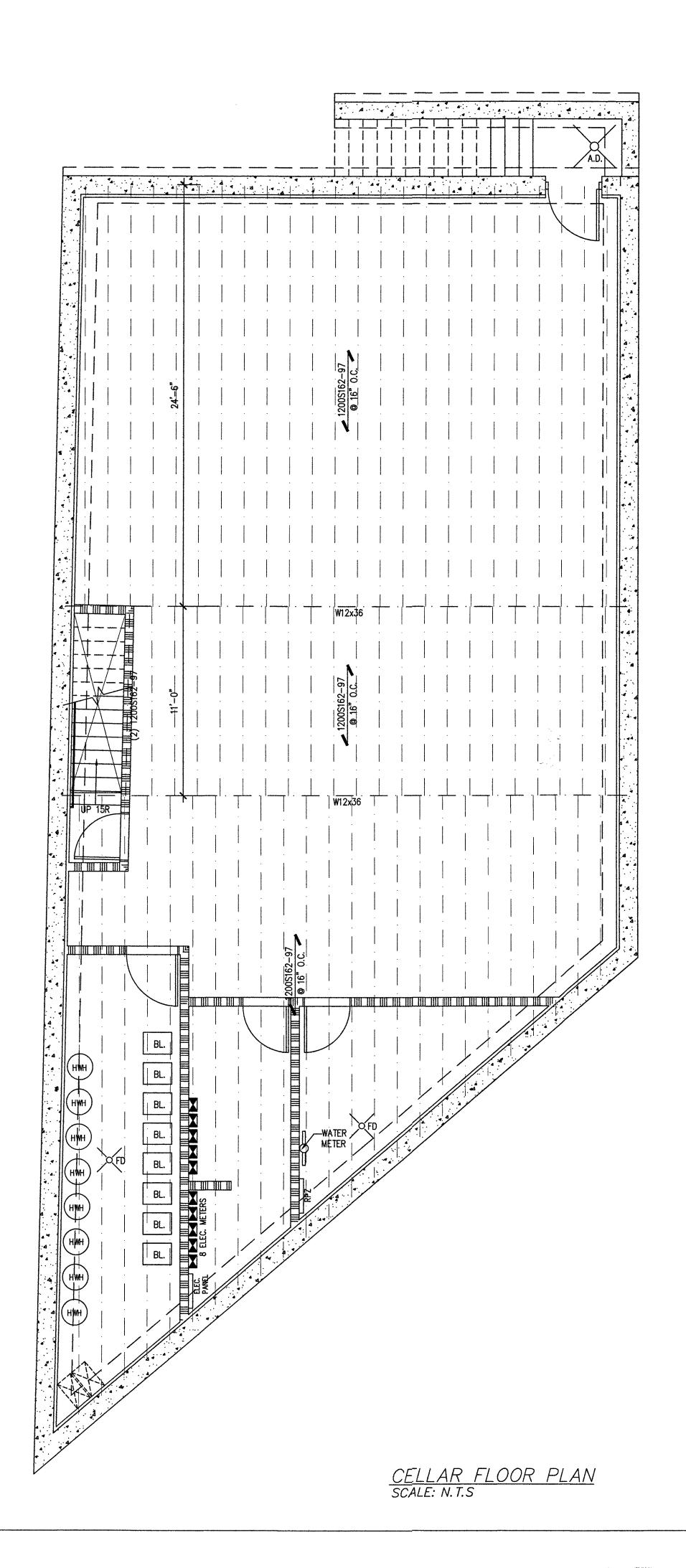
### SOLDIER/SHEET PILE NOTES

- SOLDIER/SHEET PILES TO BE INSTALLED BY DRILLING METHOD ONLY.
- 2. ALL THE PILES SHALL BE INSTALLED AT LOCATIONS AS SHOWN ON CONTRACTORS DRAWINGS.
- 3. LAYOUT PILE LOCATION BY GENERAL CONTRACTOR (SURVEYED IN PLACE).
- 4. PLACE SOLDIER/SHEET PILES ACCORDING TO SIZE, LENGTH AND UP TO TIP ELEVATION AS INDICATED ÓN DRAWINGS.

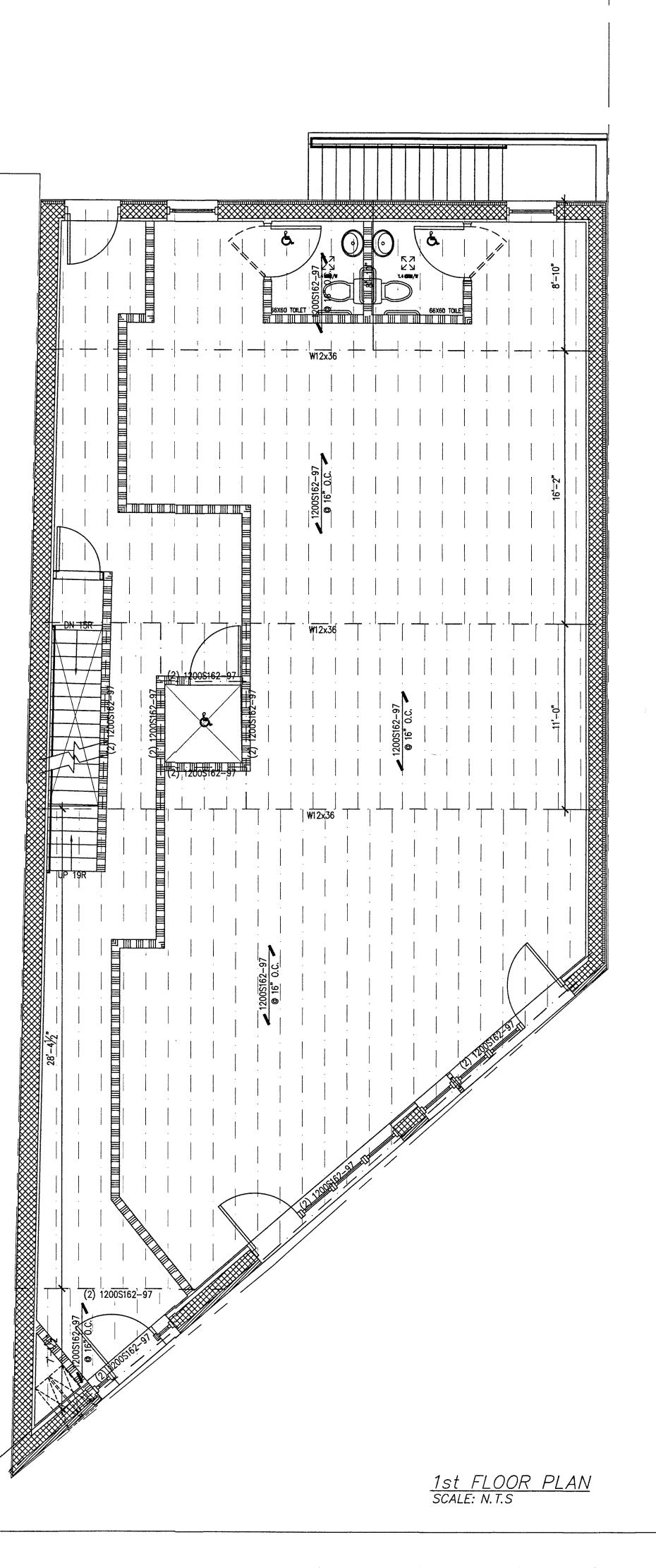
### SHEETING AND BRACING NOTES

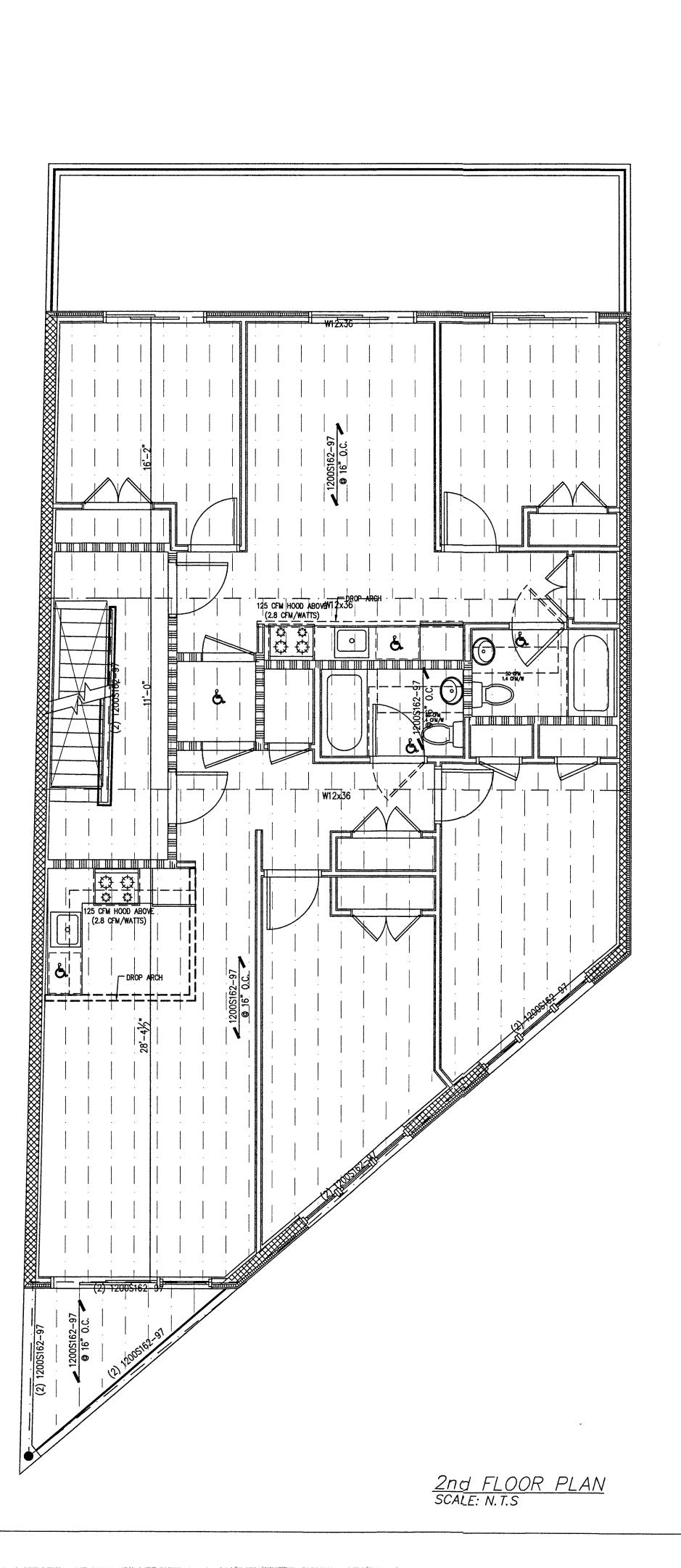
- PRIOR TO COMMENCING ANY WORK, CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- 2. THE BOTTOM ELEVATION AND CONFIGURATION OF THE EXISTING FOOTINGS AS SHOWN ARE APPROXIMATE.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DIFFERENCES NOTED FROM THE CONDITIONS SHOWN ON DRAWINGS THROUGHOUT THE EXCAVATION.
- 4. UTILITY IDENTIFICATION AND EXPLORATION AS NECESSARY BY GENERAL CONTRACTOR.
- MATERIAL FOR ALL SOLDIER/SHEET PILES, WALERS, RAKERS AND BRACKETS SHALL BE IN ACCORDANCE WITH ASTM A36.
- 6. ALL TIMBER LAGGING SHALL BE SOUTHERN PINE, DOUGLAS FIR, OR MIXED OAK CONSTRUCTION GRADE WHICH MEETS THE SHEETING AND BRACING DESIGN.
- ALL STEEL WELDING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE LAWS STRUCTURAL WELDIING CODE D1.1. ELECTRODES SHALL BE E70XX.



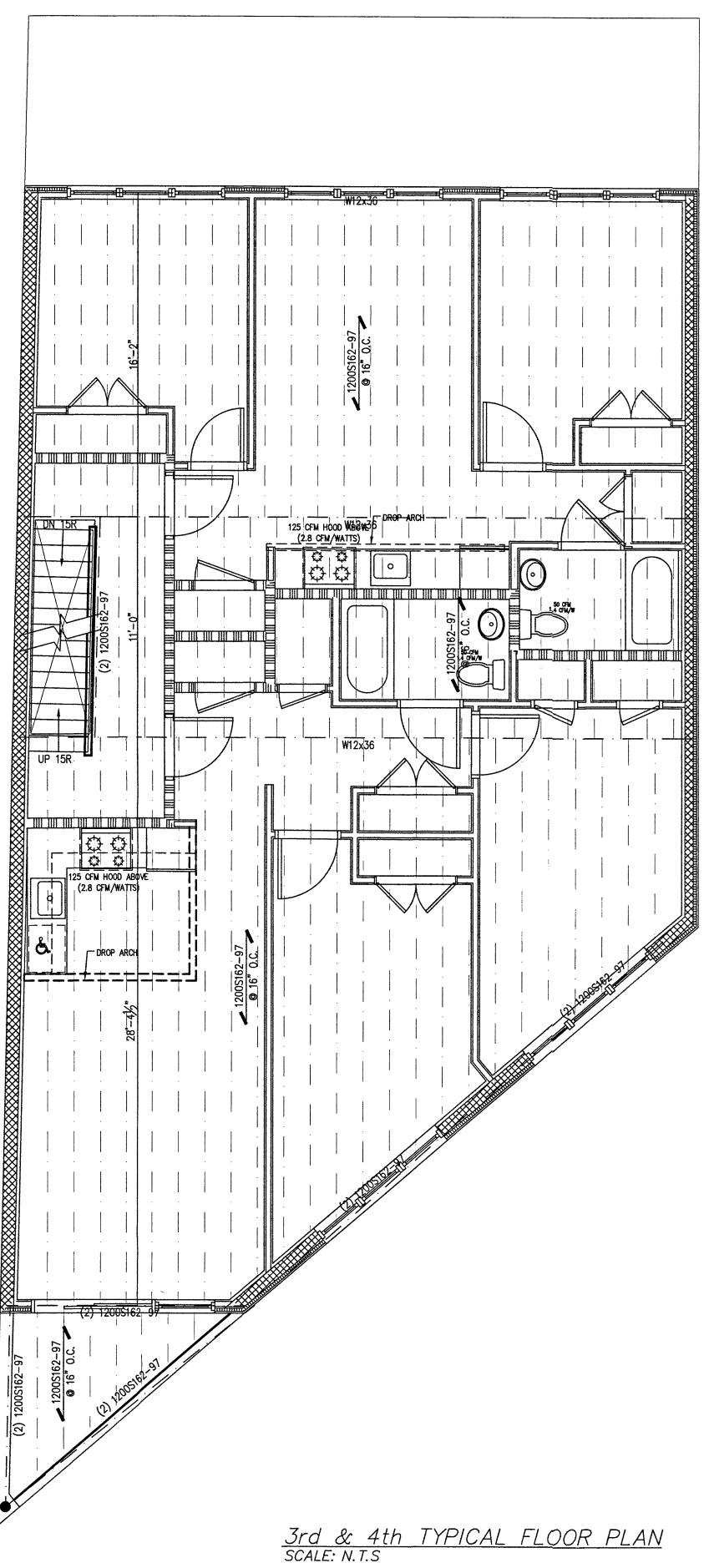


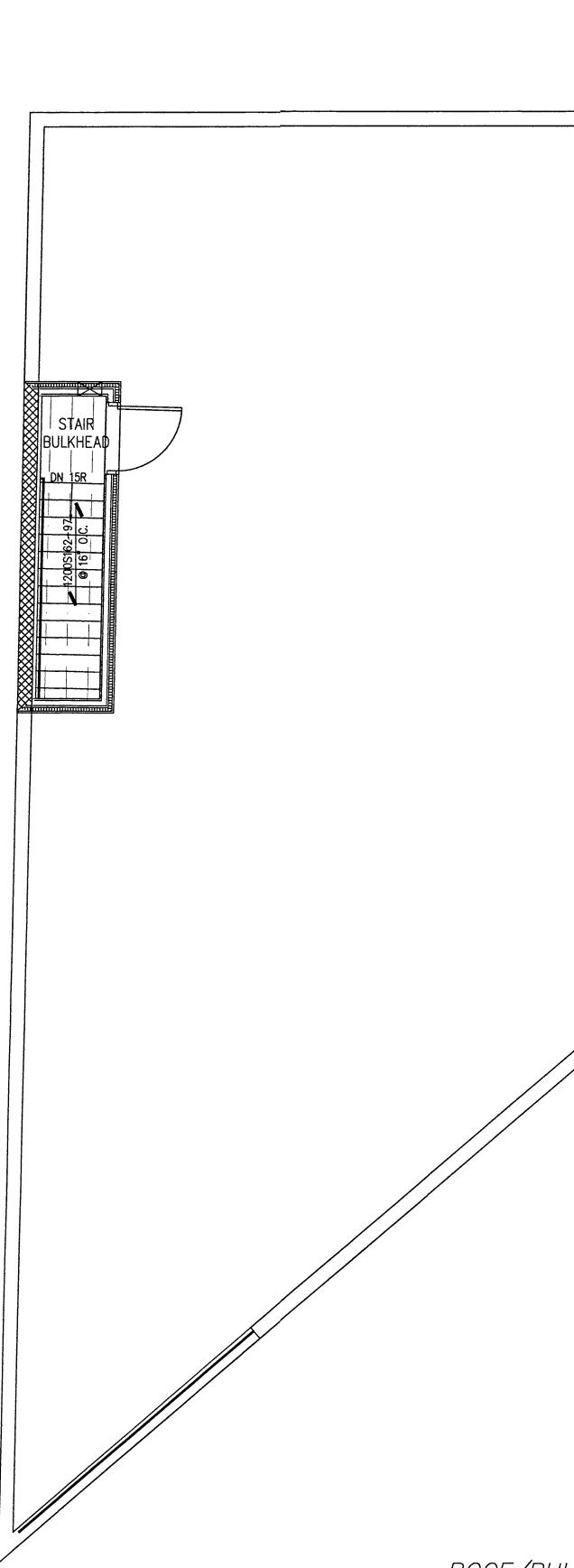
-----





BFS Architect P.C. 150-55c 14 Avenue 1st Floor Whitestone, NY 11357 Tel: (718) 701-5959 Fax: (718) 701-5960 www.platonicsolidsarch.com info@platonicsolidsarch.com Architecture Consulting Expediting IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. CONTRACTOR IS TO VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. USE DIMENSIONS. DRAWINGS ARE NOT TO BE SCALED. SEAL PROJECT LOCATION 129-24 Merrick Blvd Jamaica NY, 11434 **OWNER INFORMATION** 129-24 Merrick Blvd LLC 77-25 164th St Queens NY 11432 DRAWING TITLE Structural Plans Cellar - 2nd Floor CHECKED BY B. SALIM JOB NO. NWOHS 10/29/ NO. DATE REVISION AS SHOW DATE APPROVAL STAMPS Devin Phillips OCT 3 1 2019 EXAMINED FOR ZONING EGRESS AND FIRE PREVENTION ONLY, AS PER DIR. 2/75 APPLICATION NO. DEPT BLDGS Job No. 421699790 Scan Code ESHS5855705 DRAWING NO. -100.00 **J**-18 of 25

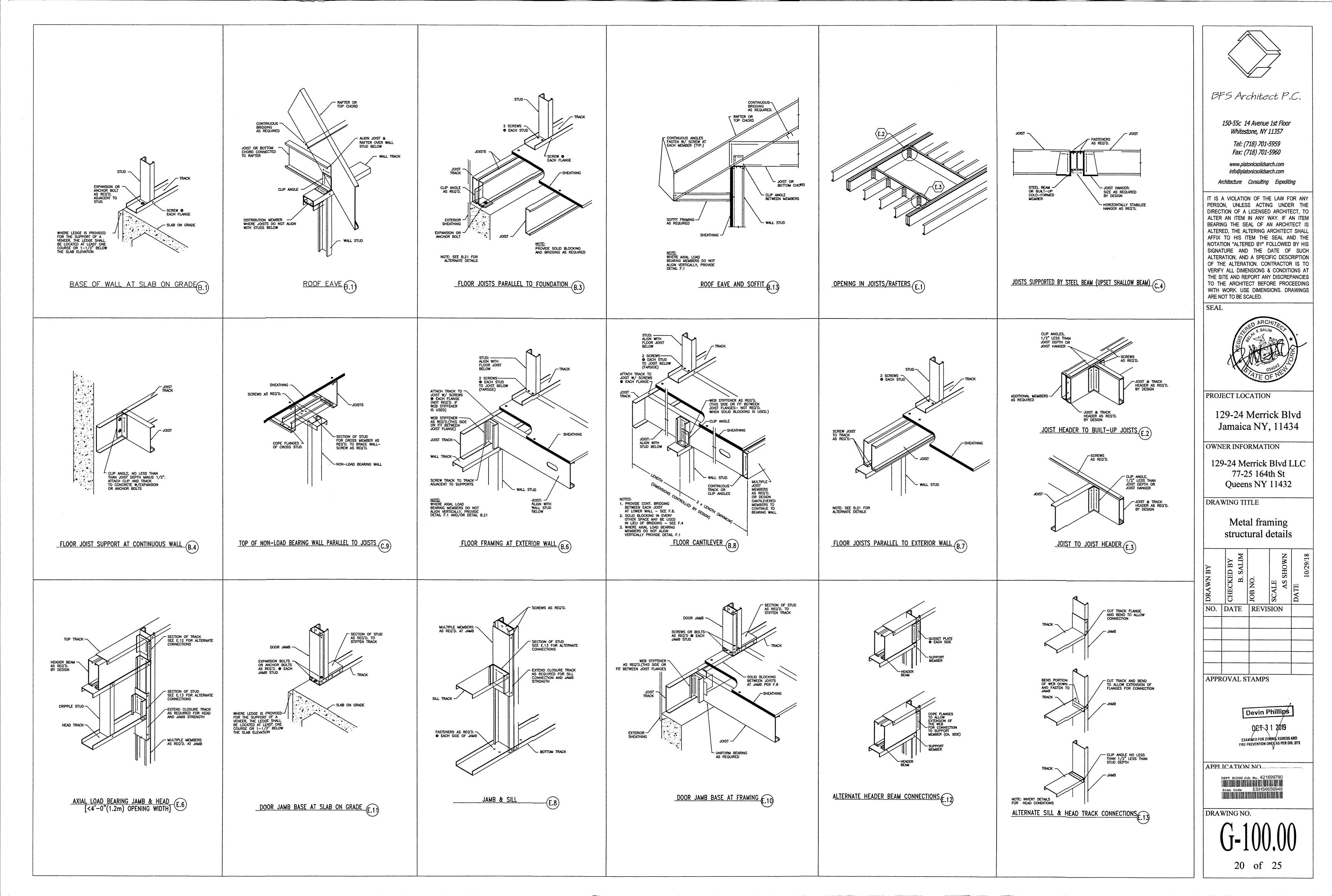


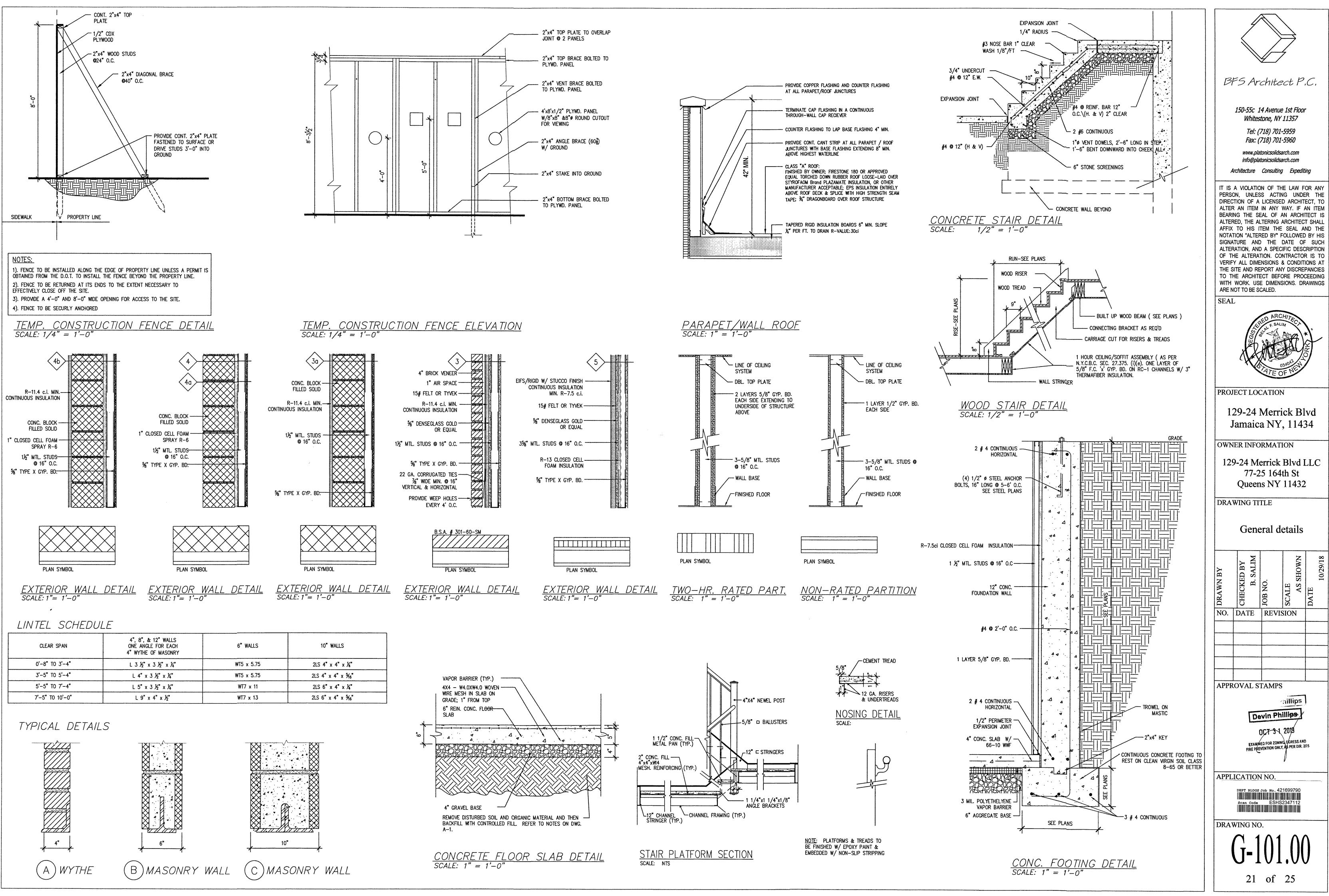


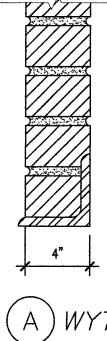


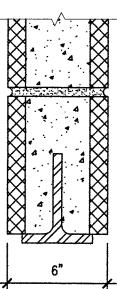
BFS Architect P.C. 150-55c 14 Avenue 1st Floor Whitestone, NY 11357 Tel: (718) 701-5959 Fax: (718) 701-5960 www.platonicsolidsarch.com info@platonicsolidsarch.com Architecture Consulting Expediting IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. CONTRACTOR IS TO VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. USE DIMENSIONS. DRAWINGS ARE NOT TO BE SCALED. SEAL PROJECT LOCATION 129-24 Merrick Blvd Jamaica NY, 11434 **OWNER INFORMATION** 129-24 Merrick Blvd LLC 77-25 164th St Queens NY 11432 DRAWING TITLE Structural Plans 3rd-Upper Roof NO. DATE REVISION BY AS SHOV AI SHC AS APPROVAL STAMPS **Devin** Phillips/ 0CT 3 1 2019 EXAMINED FOR ZONING EGRESS AND FIRE PREVENTION ONLY, AS PER DIR. 2/7 APPLICATION NO DEPT BLDGS Job No. 421699790 Scan Code ESHS2082261 DRAWING NO. S-101.00 19 of 25

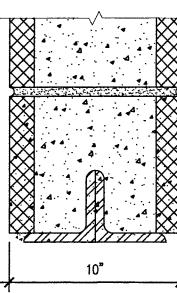
<u>ROOF/BULKHEAD\_PLAN</u> scale: N.T.S

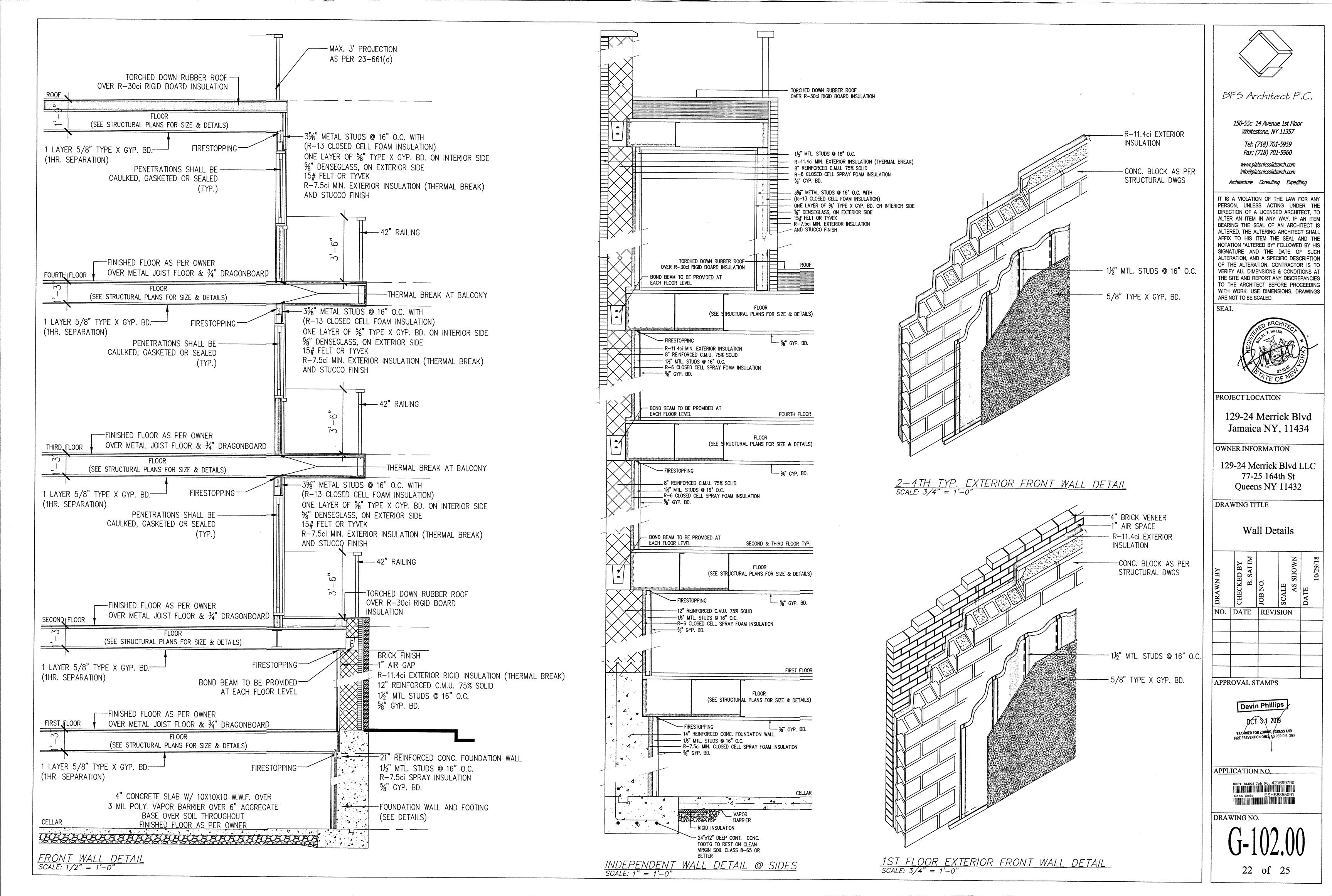


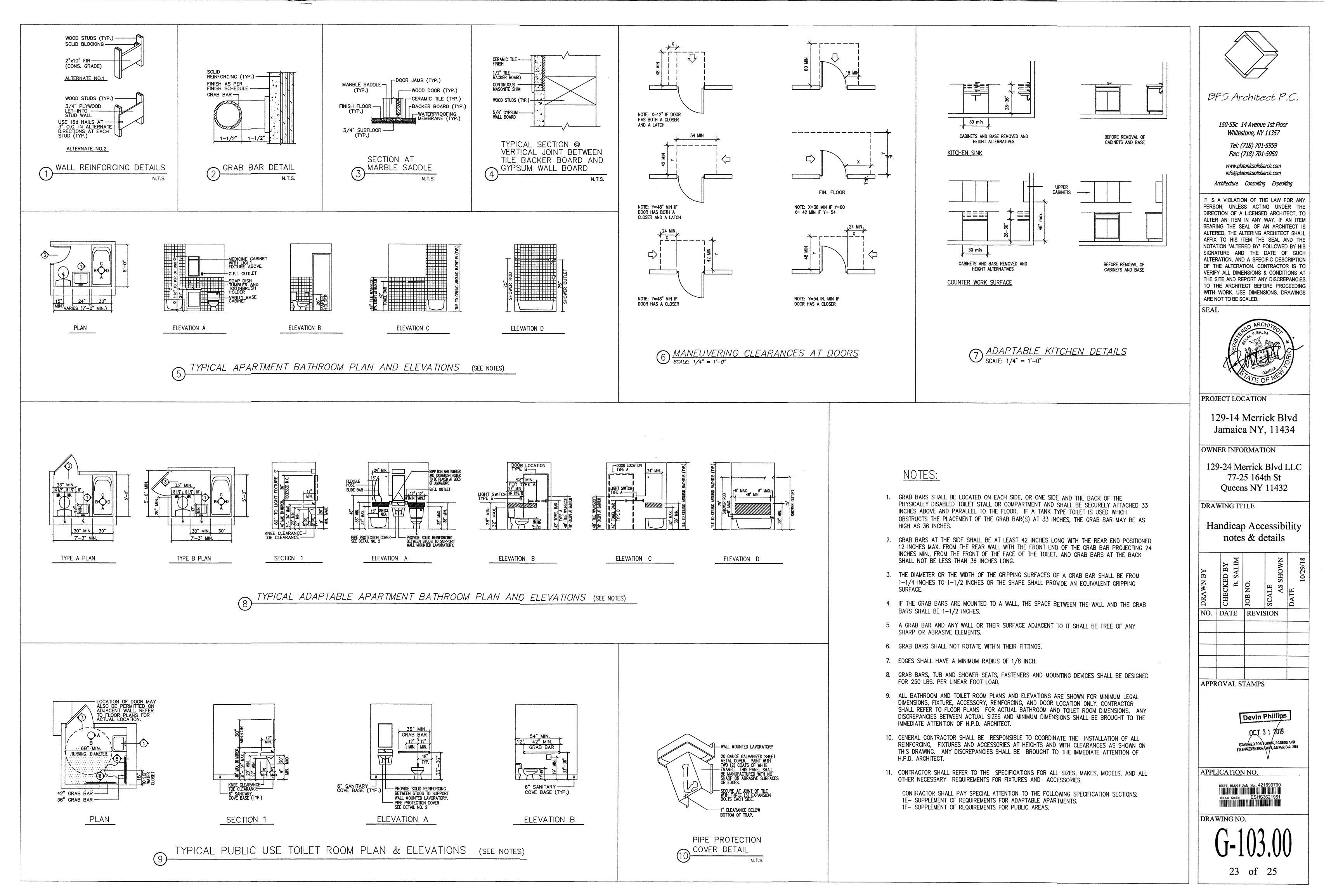




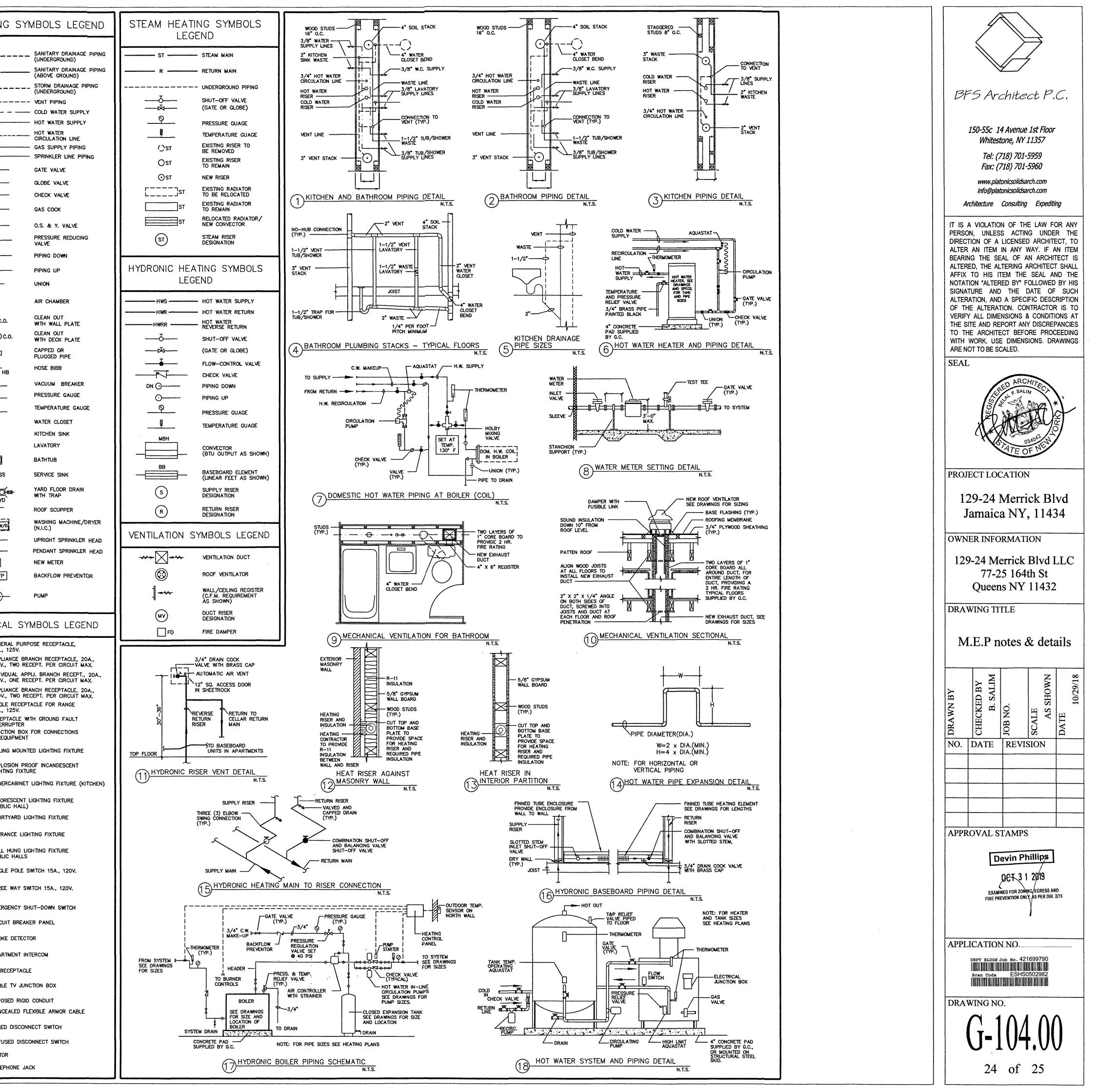








PLUMBING NOTES	ELECTRICAL NOTES	PLUMBING S
<ol> <li>THE RISER DIAGRAM IS A SCHEMATIC REPRESENTATION OF THE DRAIMAGE AND DOMESTIC WATER SUPPLY SYSTEM. CONTRACTOR SHALL FIELD VENIFY EXSTING CONDITIONS, PROVIDE SIZES AS SHOWN ON DRAIMINGS AND COMPLY WITH THE N.Y.C. PLUMBING CODE AND ALL PERTINENT STANDARDS.</li> <li>PLUMBING CONTRACTOR SHALL COORDINATE ALL PLUMBING WORK WITH ARCHTECTURAL DRAWINGS AND OTHER TRADES.</li> <li>CLEAN-OUTS SHALL BE PROVIDED AT THE BASE OF ALL SOL, WASTE, VENT, AND STORM LEADER STACKS. PROVIDE CLEAN-OUTS FOR UNDERGROUND DRAIMAGE PIPING, WITH DECK PLATES FLUXH WITH FINISHED FLOOR. OLEAN-OUTS TOR UNDERGROUND DRAIMAGE PIPING, WITH DECK PLATES FLUXH WITH FINISHED FLOOR. OLEAN-OUTS TO BE PROVIDED AT EACH CHANGE IN DIRECTION GREATER THAN 45 DEGREES OR A T EACH 50 FOOT INTERVAL.</li> <li>SUD ZONES SHALL BE PROVIDED ON SANITARY AND VENT SYSTEMS.</li> <li>PROVIDE CLEAN-OUT FLUGS UNDER ALL LAVATORY AND MICHEN SINK TRAPS.</li> <li>A HOSE BIBS SHALL BE PROVIDED NEAR ALL INTERIOR FLOOR DRAINS.</li> <li>THE MINIMUM SIZE OF UNDERGROUND DRAIN PIPING SHALL BE NO LESS THAN 3" DIAMETER.</li> <li>SOLL STACKS FOR WATER CLOSETS SHALL BE NO LESS THAN 4" IN DIAMETER.</li> <li>BACKVANT FOR HIGHEST FIXTURE IS OPTIONAL, LOWEST FIXTURE OF EACH STACK SHALL DRAIN IN TO ADJACENT VENT STACK CREATING A WASH DOWN.</li> <li>ALL VENT STACK SHALL BE PROVIDED AT IN TO DAJACENT VENT FOR THREATING CELING OF TOP FLOOR AND SHALL BE NO LESS THAN 3" DIAMETER.</li> <li>BACKVENT FOR HIGHEST FIXTURE IS OPTIONAL, LOWEST FIXTURE OF EACH STACK SHALL DRAIN IN TO ADJACENT VENT STACK SHALL DRAIN ON DAJACENT WENT STACK CREATING A WASH DOWN.</li> <li>ALL VENT STACKS SHALL BE PROVIDED AT IERS TO AND COLD WATER SHALL BE PROVIDED AT IERS.</li>     ARD CHAMBERS SHALL BE PROVIDED AT WEATHS SUPPLY BRANCH CONNECTIONS TO RITINESS OR EQUIPMENT AND AT HE DASE OF EACH RECINCULATION LINE. <li>ARCHAMBERS SHALL BE PROVIDED AN WATER SUPPLY BRANCH CONNECTIONS TO RITINESS OR EQUIPMENT AND AT HE BASE OF EALL BEPRIVERES.</li> <li>A CHECK VALE</li></ol>	<ol> <li>THESE ELECTRICAL DRAWINGS ARE A GUIDE FOR ESTIMATING PURPOSES ONLY. THE COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH ALL RULES AND REGULATIONS OF THE ELECTRICAL CODE OF THE CITY OF NEW YORK AND LOCAL UTLITY COMPANY. IF THE SPECIFICATIONS OR CONTRACT DRAWINGS CONFLICT WITH THESE CODES, THE RULES AND REGULATIONS OF THE CODE SHALL GOVERN.</li> <li>ALL ELECTRICAL SERVICES SHALL COMPLY WITH SECTIONS 27-3042, 27-3043, 27-3044 AND 27-3045 OF THE EDCERCAL CODE OF THE CITY OF NEW YORK AND ALL RECURCAL CODE OF THE CITY OF NEW YORK AND ALL REQUIREMENTS SET BY THE LOCAL UTLITY COMPANY.</li> <li>MINIMUM SIZE OF WRE SHALL BE #12 COPPER.</li> <li>TEMPORARY WRING FOR CONSTRUCTION SHALL CONFORN TO SECTION 27-3071 OF THE ELECTRICAL CODE OF THE GITY OF NEW YORK.</li> <li>TABLE 1 &amp; 2 OF SECTION 27-3083 OF THE ELECTRICAL CODE OF THE GITY OF NEW YORK SHALL BE USED FOR THE SIZING OF ALL SERVICE CONDUCTORS, FEEDERS AND SUB-FEEDERS.</li> <li>SIB-FEEDERS, FEEDERS AND BRANCH CIRCUITS GROUNDING SYSTEM SHALL CONFORM WITH THE PROVISIONS OF ARTICLE 8 OF THE ELECTRICAL CODE.</li> <li>APARTMENT LIGHTING PANEL SHALL BE 60 A. 120/240 V 1 PHASE, 3 WIRE WITH THE REQUIRED NUMBER OF BRANCH CIRCUIT BREAKERS PLUS TWO SINCLE POLE. SPACES FOR EXPANSION.</li> <li>THE HOUSE PANEL NUST BE 100 A MLO, WITH 30 POLES.</li> <li>THE PROTECTION OF THE MOTORS AND MOTOR CIRCUITS SHALL BE AS PER SECTION 27-3095. MOTORS AND THER CONFORM TO ARTICLE 13 OF THE ELECTRICAL CODE OF THE CITY OF NEW YORK.</li> <li>PROVIDE JINCTON BOXES IN BOLLER ROOM FOR BOLLER CONTROLS, BOLLERS, PUMPS, ETC. AND CONNECT TO BOLLER PANEL IN ELECTRIC METER ROOM. COORDINATE WITH HEATING AND PULMISING CONTRACTORS FOR EXACT LOCATION AND EQUIPMENT SIZE.</li> <li>PROVIDE JINCTON BOXES IN BOLLER ROOM FOR BOLLER CONTROLS, BOLLERS, PUMPS, ETC. AND CONNECT TO BOLLER PANEL IN ELECTRIC METER ROOM. COORDINATE WITH HEATING AND PULMISING CONTRACTORS FOR EXACT LOCATION AND EQUIPMENT SIZE.</li> <li>PROVIDE JINCTONE DELECTRIC SENSOR FOR THE OPERATION</li></ol>	SAN SAN SAN SAN SD
HOT WATER. 18. ALL CONNECTIONS TO EQUIPMENT OF DISSIMILAR MATERIALS SHALL BE MADE WITH A DIELECTRIC CONNECTION. 19. FOR ANY WATER PRESSURE EXCEEDING 85 PSI, PRESSURE	SMOKE DETECTOR NOTES	⊚c.o.
REDUCING VALVES SHALL BE USED. 20. AN ACCESS DOOR SHALL BE PROVIDED FOR ANY VALVE OR DEVICE CONCEALED IN WALLS OR CEILINGS. 21. PLUMBING CONTRACTOR IS RESPONSIBLE FOR LOCATION OF DRAIN PIPE AT CENTER LINE OF KITCHEN SINKS AND BATHROOM LAVATORIES IN ALL HANDICAP ADAPTABLE APARTMENTS AND HANDICAP ACCESSIBLE SPACES. 22. WATER METER INSTALLATION SHALL BE IN ACCORDANCE WITH THE DEPARTMENTS GOVERNING WATER SUPPLY. GAS PIPING NOTES	<ol> <li>ALL HANDICAPPED ADAPTABLE APARTMENTS SHALL BE PROVIDED WITH AUDIBLE AND VISIBLE TYPE SMOKE DETECTORS. REFER TO NOTE #17 UNDER LOCAL LAW 58/87 NOTES.</li> <li>ALL SMOKE DETECTORS TO BE IONIZATION TYPE AS PER NEW YORK CITY BUILDING CODE.</li> <li>ALL SMOKE DETECTORS MUST BE INSTALLED WITHIN FIFTEEN FEET (15'-0") OF THE ENTRANCE OF ALL SLEEPING ROOMS.</li> <li>ALL SMOKE DETECTORS SHALL BE HARD WIRED, AND CEILING MOUNTED AS PER N.F.P.A. #74-1980 AND LOCAL LAW 62/81.</li> <li>REFER TO DRAWINGS, AND SECTION 16 OF THE SCOPE OF WORKS AND SPECIFICATIONS FOR COMPLETE DETAILS.</li> </ol>	
<ol> <li>INSTALLATION OF GAS PIPING SHALL BE IN ACCORDANCE WITH NFPA 54 OF 1978, GAS COMPANY REQUIREMENTS, NEW YORK CITY BUILDING CODE AND ALL AGENCIES HAVING JURISDICTION.</li> <li>GAS METER ASSEMBLY INCLUDING VALVES, PIPING,</li> </ol>	INTERCOM SYSTEM NOTES	
<ul> <li>VENTS, REGULATORS, AND ALL PERTINENT EQUIPMENT SHALL BE IN ACCORDANCE WITH GAS COMPANY REQUIREMENTS.</li> <li>3. A SHUT-OFF VALVE SHALL BE PROVIDED ON EACH BRANCH CONNECTION TO GAS BURNING EQUIPMENT AND AT THE BASE OF EVERY GAS RISER.</li> <li>4. GAS MAINS OR BRANCH CONNECTION PIPING SHALL NOT BE LESS THAN 3/4" DIAMETER.</li> <li>5. ALLOLD OF SECTION FOR FACULAD FOR LICED</li> </ul>	<ol> <li>INTERCOM SYSTEM SHALL INTERFACE WITH LOCKING DEVICE SPECIFIED AND PROVIDED UNDER SECTION 8F.</li> <li>INTERCOM AND DOOR BUZZER SYSTEM COMPLY WITH MULTIPLE DWELLING LAW SECTIONS 50 AND 57.</li> </ol>	
<ul> <li>5. A LOAD OF 65 CFH FOR EACH RANGE SHALL BE USED FOR GAS PIPE SIZING.</li> <li>6. EACH GAS RISER SHALL BE PROVIDED WITH A CAPPED DRIP LEG.</li> <li>7. GAS SERVICE PIPING SHALL NOT BE USED FOR ELECTRICAL GROUNDING.</li> <li>8. UNDER NO CIRCUMSTANCES SHALL GAS PIPING BE DISTORTED, TWISTED, OR BENT.</li> <li>9. USE OF GAS PIPING OR FITTINGS REMOVED OF PRIOR INSTALLATIONS IS PROVIDED OF PRIOR INSTALLATIONS IS PROVIDED THE SCOPE OF WORK AND SECTION 15B OF THE SCOPE OF WORK AND SPECIFICATIONS FOR COMPLETE DETAILS.</li> </ul>	<ol> <li>SPRINKLER NOTES</li> <li>THE INSTALLATION COMPONENTS SIZING, SPACING, CLEARANCES, POSITIONS AND TYPE OF SYSTEMS SHALL CONFORM TO RS 17-2, SECTION C26-1703.0.</li> <li>ONLY APPROVED MATERIALS SHALL BE USED AS PER SECTION C26-1703.5.</li> <li>DIRECT CONNECTION OF SPRINKLERS TO THE PUBLIC WATER SYSTEM SHALL CONFORM TO SECTION C26-1703.10.</li> <li>SPRINKLERS WILL BE PROTECTED FROM FREEZING AND INJURY AS PER SECTION C26-1703.14.</li> <li>INSPECTIONS AND TESTS OF SPRINKLERS SHALL BE CONDUCTED AS PER SECTION C26-1703.14.</li> </ol>	
<ol> <li>HEATING AND VENTILATION SYSTEMS SHALL COMPLY WITH THE REQUIREMENTS OF C26 ARTICLES 12, 13 AND 14 OF THE BUILDING CODE.</li> <li>OPERATION AND MAINTENANCE OF SYSTEMS SHALL BE IN ACCORDANCE WITH C26-1302.1.</li> <li>FIRESTOPPING SHALL BE INSTALLED BY G.C. AS PER SECTIONS C26-1409.2 AND C26-504.7.</li> <li>HEATING AND VENTILATION CONTRACTOR SHALL COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS.</li> <li>HEATING SYSTEM DESIGN SHALL COMPLY WITH C26-1204.0 AND TABLE 12-1.</li> <li>ALL HEATING LOAD CALCULATIONS SHALL BE DONE AS PER A.S.H.R.A.E. 1972 GUIDE.</li> <li>PROVIDE CONTINUOUS ENCLOSURES FOR ALL HORIZONTAL BASEBOARD PIPING ABOVE FLOOR LEVEL.</li> <li>LOOP RADIATION PIPING SHALL BE RUN WITHIN WALL FURRING OR BELOW FLOOR LEVEL.</li> <li>ALL HEATING MAINS, RISERS, FITTINGS, VALVES AND RUNOUTS TO HEATING ELEMENTS SHALL BE INSULATED.</li> <li>ALL HEATING STO HEATING ELEMENTS SHALL BE A MINIMUM OF 3/4" DIAMETER (HYDRONIC).</li> <li>A SLEEVE SHALL BE PROVIDED FOR ALL BE INSULATED.</li> <li>ALL RUNOUTS TO HEATING SHALL BE PROVIDED WITH EXPANSION JOINTS FOR MAINS AND RISERS.</li> <li>ACCESS DOORS SHALL BE PROVIDED FOR ALL AIR VENTS AND CONCEALED VALVES.</li> <li>CONTRACTOR SHALL BE PROVIDED FOR ALL AIR VENTS AND CONCEALED VALVES.</li> <li>CONTRACTOR SHALL BE ADDR AND RISERS.</li> <li>CONTRACTOR SHALL BALANCE ENTIRE HEATING SYSTEM FOR EVEN HEAT DISTIBUTION.</li> <li>REFER TO DRAWINGS, AND SECTION 15A OF THE SCOPE OF WORK AND SPECIFICATIONS FOR COMPLETE DETAILS.</li> </ol>	<ol> <li>THE OCCUPANCY OF THE AREA TO BE SPRINKLERED IN ACCORDANCE WITH CHAPTER 1-7 OF RS17-2 SHALL BE THOSE SPECIFIED ON THE PLANS.</li> <li>WATER SUPPLY TEST PIPES AND GAUGES SHALL BE PROVIDED AS PER RS17-2, CHAPTER 2-9.</li> <li>PIPING, SPECIFICATIONS, PIPE SCHEDULES, SYSTEM TEST PIPES, PROTECTION AGAINST CORROSION DAMAGE, FITTINGS, VALVES, HANGERS, SPRINKLERS, GUARDS AND SHIELDS SHALL BE AS PER RS17-2, CHAPTER 3.</li> <li>STOCK OF EXTRA SPRINKLERS FOR EACH TEMPERATURE RATING SHALL BE FURNISHED AS PER RS17-2, CHAPTER 3-16.7.</li> <li>SPRINKLER ALARM SHALL BE IN ACCORDANCE WITH RS17-2, CHAPTER 3-16.7.</li> <li>SPRINKLER ALARM SHALL BE IN ACCORDANCE WITH RS17-2, CHAPTER 3-17.</li> <li>SPACING, LOCATION AND POSITION OF SPRINKLERS SHALL BE AS PER RS17-2, CHAPTER 4.</li> <li>ALL BLIND SPACES EXCEEDING 6" IN WIDTH OR DEPTH WHICH CONTAIN COMBUSTIBLE MATERIAL SHALL BE SPRINKLERED.</li> <li>ALL PIPING PASSING THROUGH WALLS SHALL COMPLY WITH PARAGRAPH C26-604.3.</li> <li>THERE WILL BE NO HIGH PILE STORAGE AS DEFINED IN RS17-2, CHAPTER 4-1.3.8.</li> <li>DISTANCE OF SPRINKLERS FROM HEAT SOURCE SHALL BE AS PER TABLE 3-16.6.4.</li> <li>AS PER C26-1703.10, PROVIDE DEPARTMENT OF WATER SUPPLY LETTER WITH FLOW TEST DATA IF THERE IS A DIRECT CONNECTION TO THE STREET WATER SUPPLY.</li> <li>ALL PIPES PASSING THROUGH FOUNDATION WALLS SHALL BE AS PER TABLE 3-16.6.4.</li> <li>AS PER C26-1703.10, PROVIDE DEPARTMENT OF WATER SUPPLY.</li> <li>ALL PIPES PASSING THROUGH FOUNDATION WALLS SHALL BE AS PER TABLE 3-16.6.4.</li> <li>AS PER C26-1703.10, PROVIDED BY SECTION P101.1 OF RS-16.</li> <li>THIS APPLICATION IS NOT FILED AS A RESULT OF ACTIONS BY THE FIRE COMMISSIONER AS AUTHORIZED BY THE THE BLS. &amp; A. TO MODIFY THE CERTIFCATE</li> </ol>	$ \begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} $
<ul> <li>VENTILATION MOTES</li> <li>RITCHENETTE VENTILATION DUCTS SHALL BE 18 GAUGE GAUAWIZED SHEET METAL MINIMUM.</li> <li>FOR BATHROOM DUCT GAUGES SEE HEATING AND VENTILATION SPECIFICATIONS.</li> <li>FUSIBLE LINK FRE DAMPERS SHALL BE INSTALLED WHERE REGISTERS PIERCE RATED DUCTS.</li> <li>ALL DUCT SHAFTS SHALL HAVE A FIRE RATING ENCLOSURE OF TWO HOURS, PROVIDED BY GENERAL CONTRACTOR. SEE DETAILS.</li> <li>VENTILATION OF BATHROOMS SHALL COMPLY WITH C26-1206.5 AND C26-1207.3.</li> <li>VENTILATION OF KITCHENS SHALL COMPLY WITH C26-1206.5 AND C26-1207.2.</li> <li>MAXIMUM VELOCITES IN DUCTS SHALL BE FOR LOW VELOCITY SYSTEMS ACCORDING TO TABLE 12-6 OF C266-1208.5 BERANCH DUCTS1500 FPM., SUB-MAIN DUCTS-1000 FPM., MAIN-DUCTS1500 FPM., SUB-MAIN DUCTS-1000 FPM., MAIN-DUCTS-1500 FPM.</li> <li>NORE LEVELS AT ALL GRILLS, REGISTERS, ETC. SHALL CONFORM TO TABLE 12-7 OF C26-1208.3.</li> <li>ALL FLEXRE CONNECTIONS, VIBRATION ISOLATORS, CURB BOXES, THERS, FUBBLE LINK FREE DAMPERS, ETC. SHALL BE APPROVED FOR USE IN NEW YORK CITY.</li> <li>EACH EMANDS VENTILATOR SHALL BE PROVIDED WITH A BACKDARAFT DAMPER.</li> <li>REFER TO DRAWINGS, AND SECTION 15 OF THE SCOPE OF WORK AND SPECIFICATIONS FOR COMPLETE DETAILS.</li> <li< td=""><td><ul> <li>OF OCCUPANCY NOR IS SUCH ACTION PENDING.</li> <li>19. ALL VALVES SHALL BE IDENTIFIED AS REQUIRED BY RSI7-2, CHAPTER 3-14.3.</li> <li>20. DRAINAGE SHALL CONFORM TO RSI3-2, CHAPTER 3-11.</li> <li>21. A ONE PIECE REDUCING FITTING OF GOOD DESIGN SHALL BE USED WHEREVER A CHANGE IS MADE IN THE SIZE OF PIPE AS PER AS 17-2, SEC. 3-13.3.</li> <li>22. ALL VALVES OR CONNECTIONS TO WATER SUPPLY TO SPRINKLERS SHALL BE APPROVED OS&amp;Y OR APPROVED INDICATOR TYPE.</li> <li>23. DRAIN VALVES AND TEST VALVES SHALL BE APPROVED INDICATOR TYPE.</li> <li>24. DRAIN VALVES AND TEST VALVES SHALL BE APPROVED TYPE AS PER RS17-2, SECTION 3-14.1.</li> <li>24. HANGERS SHALL BE OF TYPE APPROVED DAUSTABLE HANGERS. HANGERS SHALL BE OF TYPE APPROVED FOR USE WITH THE PIPE OR TUBE INVOLVED.</li> <li>25. PROVISIONS SHALL BE MADE TO FACILITATE FLUSING SYSTEM BY PROVIDING FLUSING CONNECTIONS CONSISTING OF A CAPPED NIPPLE 4" LONG ON END OF A CROSS MAIN AS PER RS17-2, SECTION 3-8.2.</li> <li>26. SPRINKLERS SHALL BE OF APPROVED TYPES AS PER RS17-2 CHAPTER 3-16.</li> <li>27. TEMPERATURE RATINGS SHALL COMPLY WITH RS17-2, SECTION 3-16.6.</li> <li>28. PROVIDE 18" MINIMUM CLEARANCE TO BELOW SPRINKLER DEFLECTOR AS PER RS17-2, SECTION 4-2.5.</li> <li>29. SPACING AND LOCATION OF SPRINKLERS SHALL COMPLY WITH RS17-2, CHAPTER 4. SPRINKLER SYSTEM SHALL CONFORM WITH NEPA 13-1983 AS AMENDED BY BS&amp;A CAL. NO. 633-83 BCK.</li> <li>30. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERUITS.</li> <li>31. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERUITS.</li> <li>32. SPRINKLER CLASSIFICATION ORDINARY HAZARD, 130 SQUARE FEET MAX. PER SPRINKLER HEAD.</li> <li>33. CONTRACTOR SHALL REMOVE AND REINSTALL ALL INSTALLATION AND PATCH ALL WALLS, FLOORS AND CELLINGS AFFECTED BY THE WORK.</li> </ul></td><td>ENTRANCE L WALL HUNG PUBLIC HALL SINGLE POLE SINGLE POLE SINGLE POLE SINGLE POLE SINGLE POLE CATV CB CIRCUIT BRE CIRCUIT CIRCUIT BRE CIRCUIT BRE CI</td></li<></ul>	<ul> <li>OF OCCUPANCY NOR IS SUCH ACTION PENDING.</li> <li>19. ALL VALVES SHALL BE IDENTIFIED AS REQUIRED BY RSI7-2, CHAPTER 3-14.3.</li> <li>20. DRAINAGE SHALL CONFORM TO RSI3-2, CHAPTER 3-11.</li> <li>21. A ONE PIECE REDUCING FITTING OF GOOD DESIGN SHALL BE USED WHEREVER A CHANGE IS MADE IN THE SIZE OF PIPE AS PER AS 17-2, SEC. 3-13.3.</li> <li>22. ALL VALVES OR CONNECTIONS TO WATER SUPPLY TO SPRINKLERS SHALL BE APPROVED OS&amp;Y OR APPROVED INDICATOR TYPE.</li> <li>23. DRAIN VALVES AND TEST VALVES SHALL BE APPROVED INDICATOR TYPE.</li> <li>24. DRAIN VALVES AND TEST VALVES SHALL BE APPROVED TYPE AS PER RS17-2, SECTION 3-14.1.</li> <li>24. HANGERS SHALL BE OF TYPE APPROVED DAUSTABLE HANGERS. HANGERS SHALL BE OF TYPE APPROVED FOR USE WITH THE PIPE OR TUBE INVOLVED.</li> <li>25. PROVISIONS SHALL BE MADE TO FACILITATE FLUSING SYSTEM BY PROVIDING FLUSING CONNECTIONS CONSISTING OF A CAPPED NIPPLE 4" LONG ON END OF A CROSS MAIN AS PER RS17-2, SECTION 3-8.2.</li> <li>26. SPRINKLERS SHALL BE OF APPROVED TYPES AS PER RS17-2 CHAPTER 3-16.</li> <li>27. TEMPERATURE RATINGS SHALL COMPLY WITH RS17-2, SECTION 3-16.6.</li> <li>28. PROVIDE 18" MINIMUM CLEARANCE TO BELOW SPRINKLER DEFLECTOR AS PER RS17-2, SECTION 4-2.5.</li> <li>29. SPACING AND LOCATION OF SPRINKLERS SHALL COMPLY WITH RS17-2, CHAPTER 4. SPRINKLER SYSTEM SHALL CONFORM WITH NEPA 13-1983 AS AMENDED BY BS&amp;A CAL. NO. 633-83 BCK.</li> <li>30. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERUITS.</li> <li>31. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERUITS.</li> <li>32. SPRINKLER CLASSIFICATION ORDINARY HAZARD, 130 SQUARE FEET MAX. PER SPRINKLER HEAD.</li> <li>33. CONTRACTOR SHALL REMOVE AND REINSTALL ALL INSTALLATION AND PATCH ALL WALLS, FLOORS AND CELLINGS AFFECTED BY THE WORK.</li> </ul>	ENTRANCE L WALL HUNG PUBLIC HALL SINGLE POLE SINGLE POLE SINGLE POLE SINGLE POLE SINGLE POLE CATV CB CIRCUIT BRE CIRCUIT CIRCUIT BRE CIRCUIT BRE CI



#### GENERAL NOTES

- 1. IT IS THE INTENTION OF THIS CONTRACT TO CONSTRUCT THE BUILDING(S), FINISHED AND READY FOR OCCUPANCY, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL REQUIREMENTS OF THE LAW. ALTHOUGH ALL NECESSARY WORK MAY NOT BE ITEMIZED IN THE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR WILL FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND INCLUDE ALL WORK SPECIFIED OR IMPLIED FOR THE COMPLETE REPAIR OF THE BUILDING(S).
- 2. CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO START OF WORK
- 3. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE AND ALL RULES AND REGULATIONS OF THE COUNTY AND STATE. 4. THE ENTIRE BUILDING(S) SHALL COMPLY WITH ARTICLE
- SEVEN (7) OF THE MULTIPLE DWELLING LAW, THE HOUSING MAINTENANCE CODE AND THE ZONING RESOLUTION. 5. CONTRACTOR SHALL OBTAIN BUILDING PERMIT, NO
- WORK SHALL PROCEED UNLESS BUILDING PERMIT IS DISPLAYED AT FRONT OF BUILDING(S).
- 6. CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT FROM THE DEPARTMENT OF HIGHWAYS FOR ALL WORK BEYOND THE BUILDING LINE. 7. CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT FROM
- THE DEPARTMENT OF AIR RESOURCES FOR ANY NEW BOILER. 8. CONTRACTOR SHALL OBTAIN NEW CERTIFICATE OF
- OCCUPANCY. HE SHALL OBTAIN ALL PERMITS AND FINAL APPROVALS OF ALL DEPARTMENTS HAVING JURISDICTION.
- 9. CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION INSURANCE AND DISABILITY BENEFITS. 10. CONTRACTOR SHALL PAY FOR ALL PERMITS, LICENSES,
- INSPECTION FEES AND ALL OTHER CHARGES. 11. WHERE EXISTING WORK IS TO BE CUT AND/OR UNDERPINNED, CONTRACTOR SHALL PROVIDE ALL NEEDLING, SHORING, BRACING, WEDGING AND DRY-PACKING AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE DURING THIS OPERATION. 12. THE CONTRACTOR SHALL BE REQUIRED TO PATCH,
- REPAIR, AND REPLACE ANY AREAS THAT ARE ALTERED OR DAMAGED DURING PROCESS OF ALTERATION. 13. THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS
- OBSERVATIONS OF THE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY SITUATIONS THAT REQUIRE FURTHER INVESTIGATION OR STUDY, HE SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- 14. THE STRUCTURAL DESIGN IS BASED UPON EXISTING DRAWINGS (IF AVAILABLE), FIELD OBSERVATIONS AND/ OR ASSUMPTIONS REGARDING THE EXISTING CONDITIONS AT THE SITE. VARIATIONS BETWEEN THE FIELD CONDITIONS AND THESE DRAWINGS MAY EXIST. WHERE SUCH VARIATIONS ARE ENCOUNTERED THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- 15. THE CONTRACTOR MUST PROTECT ALL BUILDING AND STRUCTURAL ELEMENTS INCLUDING ALL CONCRETE OR MASONRY FIREPROOF ARCHES AGAINST DAMAGE RESULTING FROM FALLING OBJECTS AND STORAGE OF CONSTRUCTION MATERIALS AND OTHER HEAVY LOADS DURING ENTIRE COURSE OF DEMOLITION AND CONSTRUCTION.

MECHANICAL

- NEW STEAM HEATING AND HOT WATER SUPPLY. DISTIBUTION, BOILER, AND ALL SAFETY DEVICES SHALL COMLPY WITH SECTION 75 AND 79 M.D.L. AND ARTICLE 17 H.M.C.; PREMISES TO COMPLY WITH D26.3.10 M.D.L.
- 2. ALL GAS. ELECTRIC. WATER, SOIL, AND DRAINAGE LINES TO BE CONNECTED TO CITY FACILITIES. 3. THE INSTALLATION OF ALL PLUMBING, ELECTRICAL, AND
- H.V.A.C. WORK SHALL COMPLY WITH ALL CITY AND STATE REGULATIONS 4. CONSTRUCTION OF BUILDING EXTERIOR ENVELOPE, AND INSTALLATION OF H.V.A.C., SERVICE WATER HEATING, ELECTRICAL DISTRIBUTION AND ILLUMINATION SYSTEMS AND EQUIPMENT TO COMPLY WITH THE NEW YORK STATE NERGY CONSERVATION CONSTRUCTION CODE, SECTION
- 101.6(D) ALL BATHROOMS AND KITCHENETTES WITHOUT WINDOWS TO BE VENTED AS PER SECTION C26-260.265 B.C. MECHANICAL EXHAUST VENTS FOR BATHROOMS AND KITCHENETTES TO BE IN TWO (2) HOUR FIRE-RATED ENCLOSURES AS PER C26-638 B.C. AND FIREDAMPED BEYOND EACH REGISTER. PROVIDE MINIMUM FIVE (5) AIR CHANGES PER HOUR AT BATHROOMS AND SIX (6) AIR CHANGES PER HOUR AT KITCHENETTES.

#### MULTIPLE DWELLING NOTES

- 1. ALL APARTMENT ENTRANCE DOORS TO BE APPROVED FIREPROOF SELF-CLOSING DOOR ASSEMBLY, MINIMUM ONE (1) HOUR FIRE TEST, AS PER ARTICLE 7, TITLE 2, SECTION 238 M.D.L.
- 2. ALL F.P.S.C. DOORS TO BE MINIMUM OF ONE (1) HOUR UNLESS OTHERWISE NOTED.
- 3. ALL PARTITIONS BETWEEN APARTMENTS SHALL BE FIRE STOPPED AS PER SECTION 241 M.D.L.
- 4. PARTITIONS AND CEILINGS ENCLOSING KITCHENETTES SHALL BE FIRE-RETARDED WITH ONE LAYER OF 5/8' FIRECODE 60 GYPSUM BOARD EACH SIDE AND
- FIRE STOPPED AS PER SECTION 33 M.D.L. 5. ALL COMBUSTIBLE MATERIALS UNDER OR WITHIN ONE FOOT (1'-O") OF GAS RANGES SHALL BE
- FIRE-RETARDED WITH 5/8" FIRECODE 60 GYPSUM 6. MAINTAIN MINIMUM TWO FEET (2'-0") CLEARANCE BOVE GAS RANGES.
- 7. GAS RANGES SHALL BE A.G.A. AND/OR G.S.A. APPROVED AS PER SECTION 33 M.D.L.
- 8. ALL BATHROOMS SHALL HAVE CERAMIC TILE FLOOR AND MINIMUM 6" CERAMIC TILE SANITARY TYPE COVE BASE AT PERIMETER OF FLOOR AND W.R. GYPSUM BOARD FINISH ON WALLS AS PER SECTION 76 M.D.L.
- 9. ALL BATHROOM WINDOWS TO HAVE TRANSLUCENT
- 10. ALL PUBLIC HALL WINDOWS SHALL COMPLY WITH SECTION 238.3A M.D.L.
- 11. PREMISES SHALL COMPLY WITH SECTION 64 M.D.L. (LIGHTING, GAS METERS. AND APPLIANCES).
- 12. HOUSE NUMBERS SHALL BE PROPERLY DISPLAYED AS PER SECTION 886 - CITY CHARTER.
- 13. PROVIDE U.S. GOVERNMENT APPROVED TYPE MAILBOXES AS PER SECTION 57 M.D.L.
- 14. PROVIDE BELLS AT ENTRANCE LOBBY AS PER SECTION 57 M.D.L.
- 15. PROVIDE BELLS AT EACH APARTMENT ENTRANCE DOOR AS PER SECTION 57 M.D.L.
- 16. PROVIDE PEEPHOLES IN EACH APARTMENT ENTRANCE DOOR AS PER SECTION 51A M.D.L.
- 17. PROVIDE FRONT, SIDE AND REAR YARD LIGHTING AS PER SECTION 26, SUB-SECTION 7A AND
- SECTION 35 M.D.L. 18. PROVIDE HALL LIGHTS AS PER SECTIONS 37 AND
- 217 M.D.L 19. ALL APARTMENTS LOCATED AT BASEMENT LEVEL SHALL
- COMPLY WITH SECTIONS 34 AND 216 M.D.L. 20. ALL FIRE ESCAPES SHALL COMPLY WITH SECTION 53
- 21. ALL STAIRS SHALL COMPLY WITH SECTION 238
- M.D.L. 22. ALL PUBLIC HALL CEILINGS AND WALLS SHALL COMPLY
- WITH SECTION 238 M.D.L. 23. REPAIR OR REPLACE ALL SKYLIGHTS AS PER
- SECTION 217 M.D.L.

#### DEMOLITION NOTES

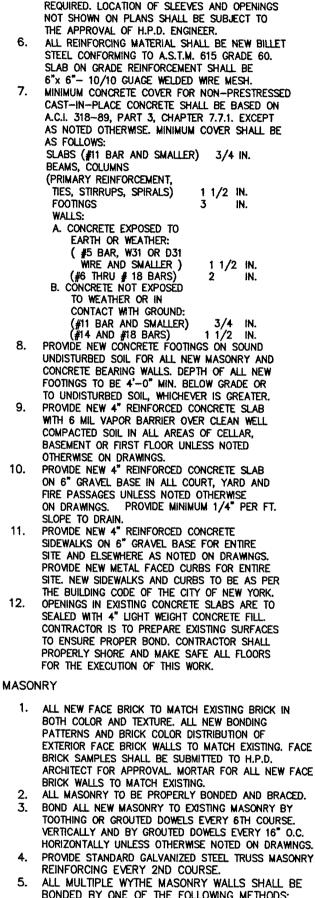
- THIS WORK IS SUBJECT TO THE PROVISIONS OF SPECIFICATIONS. INCLUDING GENERAL, SPECIFIC. AND SUPPLEMENTAL REQUIREMENTS. ALL WORK SHALL CONFORM TO THE NEW YORK CITY BUILDING CODE, LATEST EDITION.
- ALL ASBESTOS REMOVAL AND DISPOSAL SHALL BE 2 PERFORMED PRIOR TO ANY DEMOLITION OR CONSTRUCTION WORK AS PER SPECIFIC REQUIREMENTS. SECTION 1A.14 - ASBESTOS REMOVAL. CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH CONDITIONS PRIOR TO COMMENCING
- WORK, ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN FIELD. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES FROM THE CONTRACT DOCUMENTS AND AWAIT INSTRUCTIONS FROM THE ARCHITECT. CONTRACTOR FOR THE DEMOLITION WORK SHALL
- COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS. CONTRACTOR SHALL PROVIDE A TEMPORARY SIDEWALK BRIDGE FOR THE DURATION OF CONSTRUCTION CONTRACT WORK AS SPECIFIED UNDER SECTION 1A.
- CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS FOR EXISTING STRUCTURES AS REQUIRED BY DEMOLITION WORK OR NEW CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING. TEMPORARY BRACING AND SHORING SHALL BE AS PER SECTION C.26-1905 OF THE NEW YORK CITY BUILDING CODE.
- CONTRACTOR SHALL EXCAVATE SITE FOR NEW UTILITIES AS INDICATED ON MECHANICAL DRAWINGS. BACK FILL TO BE COMPACTED TO 95% DENSITY. ALL UNDERGROUND UTILITY SERVICES SHALL
- PROTECTED 9. REMOVE ALL EXISTING TEMPORARY MASONRY. SHEET METAL, AND WOOD SECURITY CLOSURES
- AT ALL COURTS, YARDS, STOREFRONTS, DOORS, AND WINDOWS
- REMOVE ALL EXISTING DEBRIS WITHIN THE PROPERTY LINES. REMOVE ALL EXISTING TREES AND VEGETATION 11.
- WITHIN THE PROPERTY LINES UNLESS INDICATED ) REMAIN
- THE CONTRACTOR MUST NOT REMOVE ANY STRUCTURAL 12. ELEMENTS (WOOD JOISTS, STEEL COLUMNS AND BEAMS, MASONRY AND CONCRETE WALLS AND FLOORS) WITHOUT THE APPROVAL OF HPD STAFF ENGINEERS NO STRUCTURAL ELEMENT IS TO BE REMOVED UNLESS THE STRUCTURE IT SUPPORTS IS FULLY SHORED AND BRACED SUCH SHORING AND BRACING IS TO REMAIN UNTIL THE NEW SUPPORTS ARE COMPLETED TO THE SATISFACTION AND APPROVAL OF THE H.P.D. ARCHITECT OR ENGINEER. CONTRACTOR SHALL PROVIDE SHORING AND BRACING AT ALL NEW OPENINGS IN EXISTING MASONRY WALLS. CONTRACTOR SHALL IMMEDIATELY REPORT ANY STRUCTURAL DEFECTS OR DEVIATIONS FROM HE CONTRACT DOCUMENTS TO THE ARCHITECT.
- DISCONNECT EXISTING BUILDING ELECTRIC SERVICE 13. AND REMOVE ALL ASSOCIATED WRING AND EQUIPMENT AS PER SPECIFICATIONS. ECTION 2A - DEMOLITION.
- REMOVE ALL EXISTING HEATING EQUIPMENT AND ASSOCIATED PIPING AS PER SPECIFICATIONS, SECTION 2A - DEMOLITION.
- REMOVE ALL EXISTING PLUMBING AND 15. ASSOCIATED EQUIPMENT AS PER SPECIFICATIONS, SECTION 2A - DEMOLITION. REMOVE ALL EXISTING DOMESTIC WATER
- SYSTEM TO N.Y.C. WATER MAIN. 17. ALL STRUCTURAL STEEL COLUMNS AND BEAMS
- ARE 'EXISTING TO REMAIN' UNLESS INDICATED AS NEW ON THE DRAWINGS 18. CONTRACTOR SHALL REFER TO SPECIFICATIONS SECTION 2A - DEMOLITION, FOR THE FULL
- EXTENT OF DEMOLITION TO BE PERFORMED ANY QUESTIONS CONCERNING THE EXTENT OF THE DEMOLITION WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

#### VENTILATION NOTES

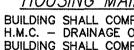
- 1. KITCHENETTE DUCTS SHALL BE A MINIMUM 18 GUAGE GALVANIZED SHEET METAL.
- 2. INTERIOR BATHROOM DUCTS SHALL BE A MINIMUM 24 GUAGE GALVANIZED SHEET METAL 3. ALL DUCTS SHALL BE FITTED WITH B.S.A. APPROVED
- REGISTERS AND FUSIBLE LINK FIRE DAMPERS. 4. ALL MECHANICAL VENTILATION DUCTS SHALL BE
- ENCLOSED WITH TWO (2) LAYERS OF ONE (1) INCH GYPSUM COREBOARD TO ACHIEVE A TWO (2) HOUR FIRE RATING. 5. WHERE MECHANICAL VENTILATION DUCTS PASS
- THROUGH WALLS OR FLOORS, THE OPENINGS SHALL BE FIRE STOPPED WITH VERMICLITE PLASTER AND MRE MESH OR F.C. 60 GYPSUM BOARD. 6. ALL VENTILATION DUCTS SHALL TERMINATE AT ROOF IN APPROVED TYPE ROOF EXHAUST FANS. SUCH FANS
- SHALL HAVE CAPACITIES AS INDICATED ON THE DRAWINGS, AND SHALL OPERATE CONTINUOUSLY 7. UPON COMPLETION OF MECHANICAL VENTILATION SYSTEM, SUCH SYSTEMS SHALL BE TESTED BY OR UNDER THE SUPERVISION OF:
- A. LICENSED PROFESSIONAL ENGINEER, QUALIFIED TO CONDUCT SUCH A TEST; OR B. PERSON HAVING MINIMUM FIVE (5) YEARS EXPERIENCE SUPERVISING INSTALLATION OF SUCH SYSTEMS AND QUALIFIED TO CONDUCT SUCH A TEST. THE TEST SHALL SHOW COMPLIANCE WITH THE
- CODE REQUIREMENTS FOR VENTILATION AND FUNCTIONING FOR ALL OPERATING DEVICES. SUCH QUALIFIED TESTER SHALL FILE A CERTIFICATE INDICATING WHETHER TEST SHOWS THAT THE RATE OF AIR SUPPLY MEETS REQUIREMENTS OF THE CODE.
- 8. OWNER SHALL FILE CERTIFICATE INDICATING THAT THE VENTILATION SYSTEM WILL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE.
- 9. PROVIDE A MINIMUM 144 SQ. IN. LOUVER IN DOORS TO ALL ROOMS WITH LESS THAN 18 SQ. FT. OF WINDOW AREA. 10. PROVIDE METAL VENTILATORS, GRAVITY TYPE FOR
- COCKLOFT ROOF AREAS BEHIND EXTERIOR FACE BRICK WALLS. FREE AREA OF VENTILATORS SHALL BE A MINIMUM OF 1/300 OF ROOF AREA.

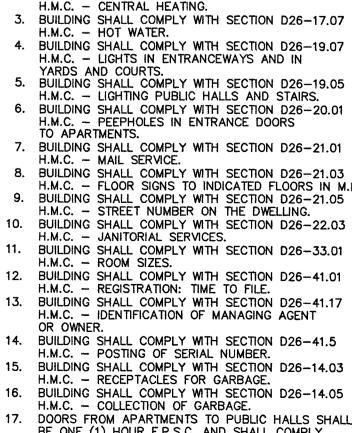
#### <u>SMOKE DETECTOR NOTES</u>

- 1. ALL APARTMENTS SHALL BE PROVIDED WITH SMOKE DETECTORS AS PER LOCAL LAW 62/81. 2. ALL HANDICAPPED ADAPTABLE APARTMENTS SHALL BE PROVIDED WITH AUDIBLE AND VISIBLE TYPE SMOKE DETECTORS. REFER TO NOTE #17 UNDER LOCAL LAW
- 8/87 NOTES. ALL SMOKE DETECTORS TO BE IONIZATION TYPE AS PER NEW YORK CITY BUILDING CODE.
- 4. ALL SMOKE DETECTORS MUST BE INSTALLED WITHIN FIFTEEN FEET (15'-0") OF THE ENTRANCE OF ALL SLEEPING ROOMS.
- 5. ALL SMOKE DETECTORS SHALL BE HARD WIRED AND MAY BE WALL OR CEILING MOUNTED AS PER N.F.P.A. #74-1980 AND LOCAL LAW 62/81.



- BONDED BY ONE OF THE FOLLOWING METHODS: HORIZONTALLY SHALL BE 24 INCHES. B. METAL TIES, CORROSION RESISTANT, 3/16 IN. DIAMETER MINIMUM OR EQUIVALENT 6. INTERSECTING WALLS AND PARTITIONS SHALL BE BONDED BY EITHER A TRUE MASONRY BOND BY LAYING AT LEAST 50% OF THE UNITS 3 IN. ON THE UNIT BELOW OR BY 1/4 IN. BY 1 1/2 IN. METAL ANCHORS, ENDS BENT UP 2 IN. OR CROSS PIN
- 4 FT. OR OTHER EQUIVALENT. 7. WALLS AT JOINING OR INTERSECTING STRUCTURAL FRAMING SHALL BE ANCHORED WITH FLEXIBLE

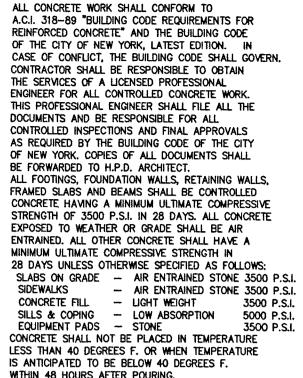




#### CONSTRUCTION NOTES

#### CONCRETE 1.

# BE FORWARDED TO H.P.D. ARCHITECT. SIDEWALKS EQUIPMENT PADS - STONE



THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES AS REQUIRED FOR INSTALLATION OF BUILT-IN WORK, SLEEVES, OPENINGS, INSERTS, ETC. AS

1 1/2 IN.

1 1/2 IN.

) PREPARE EXISTING SURFA

EXTERIOR FACE BRICK WALLS TO MATCH EXISTING. FACE ARCHITECT FOR APPROVAL. MORTAR FOR ALL NEW FACE

VERTICALLY AND BY GROUTED DOWELS EVERY 16" O.C. HORIZONTALLY UNLESS OTHERWISE NOTED ON DRAWINGS

A. MASONRY HEADERS, AT LEAST 14% OF WALL SURFACE EXTENDING MIN. 3 INCHES INTO BACKING. MAX. DISTANCE BETWEEN HEADERS VERTICALLY OR

C. PREFABRICATED JOINT REINFORCEMENT MINIMUM ONE CROSS WIRE EVERY 2 SQ. FT. MAXIMUM VERTICAL SPACING NOT TO EXCEED 16 IN.

ANCHORS 2 FT. LONG, MAXIMUM VERTICAL SPACING METAL ANCHORS TO STRUCTURAL MEMBERS.

HOUSING MAINTENANCE CODE 1. BUILDING SHALL COMPLY WITH SECTION D26-16.03 H.M.C. - DRAINAGE OF ROOFS AND COURTYARDS. 2. BUILDING SHALL COMPLY WITH SECTION D26-17.01 3. BUILDING SHALL COMPLY WITH SECTION D26-17.07 4. BUILDING SHALL COMPLY WITH SECTION D26-19.07

5. BUILDING SHALL COMPLY WITH SECTION D26-19.05 H.M.C. - LIGHTING PUBLIC HALLS AND STAIRS. 6. BUILDING SHALL COMPLY WITH SECTION D26-20.01

8. BUILDING SHALL COMPLY WITH SECTION D26-21.03 H.M.C. - FLOOR SIGNS TO INDICATED FLOORS IN M.D. 9. BUILDING SHALL COMPLY WITH SECTION D26-21.05 H.M.C. - STREET NUMBER ON THE DWELLING.

11. BUILDING SHALL COMPLY WITH SECTION D26-33.01 12. BUILDING SHALL COMPLY WITH SECTION D26-41.01 13. BUILDING SHALL COMPLY WITH SECTION D26-41.17 H.M.C. - IDENTIFICATION OF MANAGING AGENT

15. BUILDING SHALL COMPLY WITH SECTION D26-14.03 16. BUILDING SHALL COMPLY WITH SECTION D26-14.05 17. DOORS FROM APARTMENTS TO PUBLIC HALLS SHALL BE ONE (1) HOUR F.P.S.C. AND SHALL COMPLY WITH SECTION D26-20.07 H.M.C.

#### CONSTRUCTION NOTES

8. PROVIDE LOOSE LINTELS OVER ALL NEW MASONRY OPENINGS ( UNLESS NOTED OTHERWISE ON PLANS ) AND REPLACE EXISTING LINTELS AS DIRECTED BY H.P.D. SITE PERSONNEL. SPANS FOR NEW LINTELS SHALL BE AS FOLLOWS: MASONRY OPENING LINTEL SIZE

LESS THAN 48"

4" x 3 1/2" x 5/16" (3 1/2" LEG HORIZONTAL)

48" OR GREATER SEE DRAWINGS PROVIDE ONE ANGLE FOR EACH 4" OF WALL THICKNESS. PROVIDE 5" x 3 1/2" x 5/16" ANGLES FOR 6" THICK WALLS. ALL LINTELS SHALL HAVE A

MINIMUM 6" BEARING AT EACH END 9. NEW MASONRY BEAM POCKETS ARE TO BE CREATED OR EXISTING POCKETS ARE TO BE MODIFIED FOR ALL NEW WOOD AND STEEL BEAMS. ALL UNUSED BEAM POCKETS ARE TO BE FILLED SOLID WITH MASONRY.

10. ALL EXISTING POCKETS FOR COLD STORAGE BOXES SHALL BE FILLED SOLID WITH MASONRY. 1. PROVIDE NEW MASONRY OPENINGS IN BUILDING FACADES (EXCEPT FACE BRICK FACADES) FOR THE INSTALLATION OF NEW ROOF VENTS. LOCATION OF NEW ROOF VENTS TO BE AS PER DRAWINGS. ELEVATION OF NEW ROOF VENTS SHALL BE AS

> A. AT SLOPED ROOF JOISTS - HIGHEST POINT BETWEEN THE JOISTS WHEN PERPENDICULAR TO WALL AND THE HIGHEST POINT BELOW THE JOIST WHEN PARALLEL WITH WALL. B. AT PATTEN ROOF - HIGHEST POINT OF THE

COCKLOFT JUST BELOW THE ROOF SHEATHING IN BOTH ROOF STRUCTURES, VENTS TO BE LOCATED ABOVE BATT ROOF INSULATION. ROOF VENTS FOR EXERIOR FACE BRICK WALLS SHALL BE METAL VENTILATIORS MOUNTED ON ROOF AT HIGHEST POINT. 12. PROVIDE TWO (2) COATS OF CEMENT STUCCO AT ALI EXTERIOR MASONRY SURFACES INCLUDING PARAPETS AND BULKHEADS (ENTRY COURT AND STREET FACADE FACE BRICK SURFACES SHALL NOT BE INCLUDED).

GALVANIZED WIRE LATH SHALL BE APPLIED OVER ALL EXISTING BITUMINOUS MASTIC SURFACES BEFORE APPLYING STUCCO. STUCCO COLOR SHALL BE SUBMITTED TO H.P.D. ARCHITECT FOR APPROVAL

13. PROVIDE A COAT OF BITUMINOUS MASTIC AT ALL INTERIOR SURFACES OF EXTERIOR FACE BRICK WALLS. 14. PROVIDE 100% REPOINTING OF ENTIRE EXTERIOR FACE BRICK WALLS UNLESS NOTED OTHERWISE. MORTAR COLOR TO MATCH COLOR OF EXISTING

MORTAR. STRUCTURAL STEEL

- 1. ALL STRUCTURAL STEEL SHALL CONFORM WITH A.I.S.C. SPECIFICATIONS FOR STRUCTURAL STEEL FOR BUILDINGS, LATEST EDITION.
- 2. ALL STEEL SHALL BE A.S.T.M.-A36 HAVING A SPECIFIED MINIMUM YIELD POINT OF 36,000 P.S.I. UNLESS OTHERWISE NOTED ON DRAWINGS.
- 3. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN THE SERVICES OF A LICENSED PROFESSIONAL ENGINEER FOR ALL CONTROLLED INSPECTIONS AND REPORTS FOR STRUCTURAL STEEL. THIS PROFESSIONAL ENGINEER SHALL FILE ALL THE DOCUMENTS AND BE RESPONSIBLE FOR ALL AFFIDAVITS. CONTROLLED INSPECTIONS, AND FINAL APPROVALS REQUIRED BY THE BUILDING CODE OF THE CITY OF NEW YORK. COPIES OF ALL DOCUMENTS SHALL BE FORWARDED TO H.P.D. ARCHITECT.
- 4. ALL STEEL WORK SHALL BE EXECUTED FROM APPROVED SHOP DRAWINGS. 5. SHOP CONNECTIONS AND FIELD CONNECTIONS SHALL BE WELDED OR BOLTED. CONNECTION MATERIAL SHALL CONFORM TO A.S.T.M. DESIGNATIONS, LATEST EDITION. ALL WELDING TO BE DONE BY LICENSED WELDERS AND SHALL BE INSPECTED BY AN APPROVED WELDING AGENCY WHICH SHALL ISSUE AN AFFIDAVIT THAT ALL WELDING HAS BEEN INSPECTED AND FOUND TO BE
- IN CONFORMITY WITH DETAILS. THE EXISTING STEEL BEAMS AND COLUMNS SHOWN ON HESE DRAWINGS HAVE BEEN OBSERVED IN THE FIELD OR HAVE BEEN ASSUMED. VARIATIONS MAY EXIST FTWEEN THESE DRAWINGS AND ACTUAL FIFLE CONDITIONS. ANY DEVIATIONS FROM THESE DRAWINGS
- SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ALL STRUCTURAL STEEL COLUMNS AND BEAMS ARE 'EXISTING TO REMAIN' UNLESS INDICATED NEW. 8. ALL EXISTING STRUCTURAL STEEL SHALL BE CLEANED,
- REINFORCED, REPLACED, AND PAINTED AS FOLLOWS: A. ALL RUSTED STRUCTURE SHALL BE PROPERLY SHORED, AS REQUIRED. B. RUST SHALL BE CLEANED DOWN TO THE BASE
- METAL WITH MECHANICAL TOOLS, WIRE BRUSHES, SAND BLASTING OR MANUALLY. C. IF THE ORIGINAL BASE METAL IS STILL IN PLACE
- UNDAMAGED. NO FURTHER REINFORCEMENT IS REQUIRED. PROCEED WITH 'E' BELOW D. IF ORIGINAL BASE METAL IS DAMAGED
- CONTRACTOR SHALL REPORT THIS TO H.P.D. ENGINEER AND AWAIT INSTRUCTIONS FROM SAME. E. UPON COMPLETION OF RUST CLEANING
- CONTINUE WITH PAINTING ALL EXISTING STEEL AS PER SPECIFICATIONS. F. ALL REINFORCEMENT AND OR REPLACEMENT OF
- RUSTED STEEL SHALL BE EXECUTED FROM APPROVED SHOP DRAWINGS. FIREPROOFING SHALL BE APPLIED TO ALL FIRST TIER STRUCTURAL STEEL (INCLUDING METAL DECKS) ALL STRUCTURAL STEEL PART OF A FIRE-RATED ASSEMBLY, AND ALL OTHER STEEL AS REQUIRED BY CODE. BEAMS AND DECKS TO RECEIVE 1 1/2" THICK SPRAYED FIREPROOFING UNLESS NOTED OTHERWISE. COLUMNS TO RECEIVE 1 1/2" CEMENT PLASTER OVER

GALVANIZED METAL LATH UNLESS OTHERWISE NOTED.

#### BOILER ROOM NOTES

1.	EQUIPEMENT	BOILER	HOT WATER HEATER
	TRADE NAME:	SEE PLAN	SEE PLAN
	MODEL NUMBER:		
	INPUT:		
	NUMBER:		
2.	ANY CHANGE OF	HEATING APPARA	rus to be filed
	PRIOR TO INSTAL		
3.		AMERIVENT FLUE	M.E.A 294-56SM
	OR EQUAL.		
4.	PROVIDE MASONR	Y FOUNDATION UN	IDER AMERIVENT

FILLE OR FOUAL

- 5. PROVIDE FLOOR DRAIN IN BOILER ROOM. PROVIDE MIN. 18" CLEARANCE BETWEEN BOILERS AND
- ENCLOSING WALL PARTITIONS. PROVIDE 3'-O" CLEARANCE IN FRONT OF BOILERS
- AND ENCLOSING WALL 8. PROVIDE 4' CONCRETE SLAB IN BOILER ROOM.
- PROVIDE ELECTRIC LIGHT IN BOILER ROOM. 10. BOILER ROOM CEILING: TWO (2) LAYERS 5/8" SHEETROCK, TYPE "X"
- 1. REFER TO LEGEND FOR BOILER ROOM ENCLOSURE PARTITITONS. NO METERS, DUMBWAITER SHAFTS, ELEVATOR SHAFTS, INTERIOR STAIR OR REQUIRED OUTSIDE CELLAR ENTRANCE TO BE LOCATED WITHIN
- BOILER ROOM. 12. BOILER ROOM DOOR TO BE ONE (1) HOUR TEST FIREPROOFS SELF-CLOSING. BOARD OF STANDARDS AND
- APPESALS APPROVED TYPE.
- AFFESALS AFFROVED TIPE.
   NO STORAGE PERMITTED WITHIN BOILER ROOM.
   "A" DENOTES 12"X12" FIXED REGISTER WITH B.S.A APPROVED TYPE FIRE DAMPER WITH FUSIBLE LINK, LOCATED AT TOP OF PARTITIONS.
- 15. "A1" DENOTES 12"X12" FIXED REGISTER WITH B.S.A APPROVED TYPE FIRE DAMPER WITH FUSIBLE LINK, LOCATED AT BOTTOM OF PARTITIONS.
- 16. INSTALLATION OF EQUIPMENT SHALL COMPLY WITH B.S.A/ M.E.A. APPROVAL, BUILDING CODE REQUIREMENTS, DEPARTMENT OF BUILDINGS RULES AND REGULATIONS AND MANUFACTURER SPECIFICATIONS (LATEST EDITION).

### CONSTRUCTION NOTES

# 1. WOOD CONSTRUCTION SHALL CONFORM TO THE

WOOD

NEW YORK CITY BUILDING CODE, LATEST EDITION. 2. ALL NEW FRAMING LUMBER SHALL BE GRADE MARKED

- AT MILL PRIOR TO DELIVERY TO THE JOB SITE. 3. ALL NEW WOOD JOISTS SHALL BE DOUGLAS FIR NO. 2 OR BETTER. ALLOWABLE STRESSES: Fb=1000 P.S.I. (MIN.),
- E=1600 K.S.I. 4. NEW WOOD JOIST SIZES ARE BASED ON 40 P.S.F. LIVE LOAD AND 65 P.S.F. TOTAL LOAD FOR APARTMENTS AND CORRIDORS UNLESS OTHERWISH INSTRUCTED. DEFLECTION LIMITED TO L/360 SPAN
- MAXIMUM SPANS FOR NEW WOOD JOISTS SHALL BE AS FOLLOWS: 3" X 8" @12" O.C. 16'-3" CLEAR SPAN OR LESS 3" X 8" @16" O.C. 14'-0" CLEAR SPAN OR LESS 3" X 10" @12" O.C. 20'-0" CLEAR SPAN OR LESS 3" X 10" @16" O.C. 17'-3" CLEAR SPAN OR LESS 3" X 10" @16" O.C. 17'-3" CLEAR SPAN OR LESS
- 3" X 12" 012" O.C. 23'-0" CLEAR SPAN OR LESS 3" X 12" 016" O.C. 20'-0" CLEAR SPAN OR LESS
- 5. CONTRACTOR SHALL FIELD VERIFY ALL JOIST SPANS AND BE RESPONSIBLE FOR CONFORMING TO THE ABOVE 6. ALL JOISTS FRAMING INTO MASONRY SHALL HAVE
- 15 DEGREES FIRE CUT. PROVIDE 1 1/2" X 1/4" X 4'-0" LONG WALL ANCHORS 6'-0" O.C. WHERE MASONRY WALLS RUN
- PARALLEL TO JOISTS. PROVIDE 1 1/2" X 1/4" X 16" LONG T-ANCHORS EVERY FOURTH JOIST WHERE JOISTS FRAME INTO MASONRY WALLS. 8. ALL JOISTS SHALL BE CUT OR NOTCHED AS DETAILED ON
- DRAWINGS. WHERE NOTCHING OF JOISTS EXCEEDS MAX. ALLOWABLE, STEEL BRIDLE IRONS SHALL BE USED. PROVIDE BRIDGING FOR FLOOR JOISTS AT 8'-0" O.C.
- MAXIMUM. 10. FRAMING FOR ALL NEW OPENINGS IN FLOORS, DOUBLE
- HEADERS AND TRIMMERS SHALL BE HUNG IN APPROVED TYPE BRIDLE IRONS. PROVIDE NEW 2"x 6" MIN. WOOD SLEEPERS 16" O.C. MAX.
- IN ALL AREAS WHERE EXISTING WOOD SLEEPERS ARE FOUND AND ALSO WHERE INDICATED ON DRAWINGS. NEW SLEEPERS SHALL SPAN OVER EXISTING CONCRETE ARCHES AND BEAR ON STEEL AND OR ADJACENT CONCRETE OR MASONRY BEARING WALL. ALL STRUCTURAL LUMBER EXPOSED TO WEATHER
- SHALL BE PRESSURE TREATED. 13. USE GALVANIZED CONNECTORS (INCLUDING NAILS) AT ALL EXTERIOR SURFACES.

STEEL C-JOIST NOTES

FOR REPLACEMENT OF EXISTING WOOD JOIST, WHERE CLEAR SPAN IS MORE THAN WOOD JOIST LIMITS, USE LIGHTWEIGHT STEEL C JOIST AS SPECIFIED BELOW, MANUFACTURED BY MARINO/WARE OF SOUTH PLAINFIELD N.J. OR APPROVED EQUAL.

12JE12	0	12"	0.C.	FOR	CLEAR	SPAN	30 <b>'</b> -0"	OR	LESS
12JE12	Ø	16"	0.C.	FOR	CLEAR	SPAN	27'-0"	OR	LESS
12JE14	0	12"	0.C.	FOR	CLEAR	SPAN	27'-0"	OR	LESS
12J14	Ø	16"	0.C.	FOR	CLEAR	SPAN	24'-0"	OR	LESS
14J12	0	16"	0.C.	FOR	CLEAR	SPAN	30'-0"	OR	LESS
14J14	0	12"	0.C.	FOR	CLEAR	SPAN	30'-0"	OR	LESS
14J14	0	16"	0.C.	FOR	CLEAR	SPAN	27'-0"	OR	LESS

- 2. FOR BEARING, BRIDGING, STIFFENER, CONNECTION AND INSTALLATION, CONTRACTOR SHALL FOLLOW MANUFACTURER'S SPECIFICATION AND CATALOGUE DETAILS COMPLETELY.
- 3. CONTRACTOR SHALL SUBMIT SHOP DRAWING TO H.P.D. ENGINEER FOR REVIEW AND APPROVAL, PRIOR O ASSEMBLY AND INSTALLATION.
- 4. THE SHOP DRAWINGS MUST SHOW ANY AND ALL BEARING, BRIDGING, STIFFENER AND CONNECTION DETAILS, CONFORMING TO MANUFACTURER'S SPECIFICATION AND INSTALLATION PROCEDURE
- 4. ANY OTHER CONDITION, WHICH IS NOT MENTIONED ABOVE, SHALL BE REFERRED TO H.P.D. ENGINEER. STANDARD

#### ALL DIMENSIONS ARE TO FINISH SURFACES.

- 2. ALL EXPOSED SURFACES ARE TO BE PROPERLY FLASHED AND ALL EXPOSED JOINTS TO BE PROPERLY CAULKED.
- 3. PROVIDE NEW GYPSUM BOARD SUSPENDED CEILING IN ALL APARIMENTS. CEILING HEIGHT TO BE A MINI
- ABOVE WINDOW HEAD AND A MINIMUM HEIGHT OF '8 FT. PROVIDE NEW PLASTER AT WALLS AND CEILINGS IN ALL PUBLIC HALLS, LOBBIES, VESTIBULES, STAIR HALLS AND BULKHEADS, AND ELSWHERE AS NOTED ON THE FINISH SCHEDULE, WHERE STRUCTURAL OF MECHANICAL SYSTEMS (ELEC., PLUMB., HVAC) PROHIBIT
- THE APPLICATION OF A PLASTER CEILING, A NEW GYPSUM BOARD SUSPENDED CEILING SHALL BE PROVIDED. 5. ALL KITCHEN AND KITCHENETTE DROPPED ARCHES SHALL BE A MINIMUM OF 1'-0" BELOW CEILING.
- PROVIDE NEW TILE FLOORS AND NEW TILE WAINSCOTING IN ALL PUBLIC HALLS, LOBBIES, STAIRS AND STAIR LANDINGS AND AS NOTED ON DRAWINGS AND ON THE FINISH SCHEDULE
- PROVIDE ALL NEW PUBLIC HALL STAIRS INCLUDING STRINGERS, CONC. FILLED METAL PAN STAIRS AND ASSEMBLIES, INTERMEDIATE LANDINGS AND ASSEMBLIES, NEWEL POSTS, BALLISTERS, AND HANDRAILS, FLOOP FINISH ON THREADS AND LANDINGS TO BE TILE AS NOTED ON DRAWINGS AND ON THE FINISH SCHEDULI 8. SCRAPE, REPAIR AND PAINT EXISTING FIRE ESCAPES
- UNLESS OTHERWISE NOTED ON PLANS. COLOR TO BE APPROVED BY H.P.D. ARCHITECT. 9. ALL BUILDING WINDOWS WITH SILL HEIGHTS LESS THAN
- 5'-0" ABOVE SIDEWALKS, COURTYARDS, AND ADJACENT ROOF AREAS SHALL HAVE FIXED METAL WINDOW GUARDS SECURELY FASTENED TO THE ADJACENT MASONRY. ONI GUARD IN EACH APARTMENT TO BE OPERABLE. 10. PROVIDE NEW INTERIOR OPERABLE SECURITY GATES AT ALL WINDOWS OPENING TO FIRE ESCAPES.
- PROVIDE ALL NEW CHILD WINDOW GUARDS AT ALL APARTMENT AND PUBLIC HALL WINDOWS EXCEPT WHERE SECURITY GATES AND FIXED METAL WINDOW GUARDS ARE NOTED.
- 12. PROVIDE NEW SINGLE PLY MEMBRANE ROOFING TO ENTIRE ROOF SURFACE. PROVIDE PROPER FLASHING AND PITCH TO ROOF DRAINS
- 13. PROVIDE NEW INSULATION AT ALL ROOF AREAS. EXTERIOR PERIMETER WALLS (INCLUDING LOT LINE), AND ALL FLOORS ABOVE UNHEATED SPACES AS PER NEW YORK STATE ENERGY CONSERVATION CODE
- 14. FIRE STOPPING SHALL BE PROVIDED AS PER NEW YORK CITY BUILDING CODE IN THE FOLLOWING AREAS: ALL VERTICAL CHASES AND FLOOR PENETRATIONS. ALL FIRE-RATED ASSEMBLIES. ALL FIRE DIVISIONS AND SEPARATIONS.
  - ALL PERIMETER FURRING AT MASONRY WALLS. ALL LOAD BEARING PARTITIONS EXISTING AND NEW.

### TENANT SAFETY NOTES

- CONSTRUCTION WORK WITHIN PUBLIC HALL SPACES AND VACANT APARTMENT INTERIORS SHALL NOT CREATE DUST, DIRT OR OTHER SUCH INCONVIENCES TO OCCUPIED APARTMENT UNITS WITHIN THE BUILDING.
- CONSTRUCTION OPERATIONS SHALL NOT BLOCK HALLWAYS OR ANY MEANS OF EGRESS FOR BUILDING TENANTS. CONSTRUCTION OPERATIONS SHALL NOT INVOLVE THE NTERRUPTION OF HEATING, WATER, OR ELECTRICAL
- SERVICES TO THE BUILDING. 4. CONSTRUCTION OPERATIONS SHALL BE CONFINED TO NORMAL WORKING HOURS 8:00 A.M. TO 5:00 P.M.,
- MONDAY THRU FRIDAY EXCEPT LEGAL HOLIDAYS. 5. THERE SHALL BE NO OCCUPYING OF THE APARTMENTS
- TO BE RENOVATED DURING THE COURSE OF CONSTRUCTION.

# COMPLY WITH R.S. 4-6 SECTION 4.5. 9. HANDRAILS AT STAIRS ALONG ACCESSIBLE ROUTES R.S. 4-6 SECTION 4.27.4. 12. ALL THRESHOLDS AT DOORWAYS ALONG AN SECTION 4.13.8. R.S. 4-6 SECTION 4.13. R.S. 4-6 SECTION 4.13.10. 15. SPACE ALLOWANCES AND REACH RANGES AT ALL SIDE REACH HEIGHT: APARTMENTS, ELEVATORS, DISPENSER CONTROLS, 19. ALL ADAPTABLE APARTMENT BATHROOMS SHALL BE WITH R.S. 4-6 SECTION 4.32.4. WITH R.S. 4-6 SECTION 4.32.5.

LOCATIONS

ANY WORK

#### LOCAL LAW 58/87 NOTES

1. AREAS THAT ARE ACCESSIBLE TO PHYSICALLY HANDICAPPED PEOPLE SHALL COMPLY WITH THE FOLLOWING PROVISIONS AS STATED BELOW. 2. ALL WALKS, HALLS, CORRIDORS, AISLES, AND OTHER SPACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH R.S. 4-6 (ANSI A1117.1-1986) 4.3 AND LOCAL LAW 58/87.

3. ACCESSIBLE ROUTES ARE DEFINED AS CONTINUOUS UNOBSTRUCTED PATHS CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES IN A BUILDING THAT CAN E NEGOTIATED BY A PERSON WITH A SEVERE DISABILITY USING A WHEELCHAIR AND THAT ARE ALSO SAFE FOR AND USABLE BY PEOPLE WITH OTHER DISABILITIES. ACCESSIBLE ROUTES CAN BE BOTH EXTERIOR AND INTERIOR. EXAMPLES OF ACCESSIBLE ROUTES INCLUDE, BUT ARE NOT LIMITED TO THE

> EXTERIOR ACCESSIBLE ROUTES: - CURB RAMPS

FOLLOWING

– SIDEWALKS

- FLOORS

SECTION 4.10.

- ELEVATORS

- BUILDING PRIMARY ENTRANCE(S) (ANY NORMAL DAY TO DAY ENTRANCE(S) INCLUDING COMMERCIAL SPACES AND ANY ACCESSORY TENANT SPACES) INTERIOR ACCESSIBLE ROUTES: - CORRIDORS AND HALLWAYS

- RAMPS AND STAIRS - LOBBIES, FOYERS AND VESTIBULES

- CLEAR FLOOR SPACE AT FIXTURES AND EQUIPMENT EXAMPLES OF ACCESSIBLE SPACES AND ELEMENTS SHALL INCLUDE BUT ARE NOT LIMITED TO: ALL ADAPTABLE DWELLING UNITS

ALL PUBLIC SPACES WITHIN THE BUILDING(S) TENANT AND COMMUNITY ROOMS - KITCHENS ACCESSORY TO TENANT AND COMM. RMS. - LAUNDRY ROOMS - OFFICES (INCL. TOILET RMS.)

- COMMERCIÀL SPACES (INCL. TÓILET RMS.) - PUBLIC USE TOILET ROOMS - REFUSE CHUTE AND COLLECTION ROOMS 4. THE MINIMUM NUMBER OF ADAPTABLE DWELLING UNITS SHALL BE AS FOLLOWS:

A. BUILDINGS WITHOUT ELEVATORS: AT LEAST ONE BUT NOT LESS THAN 25% OF THE TOTAL NUMBER OF DWELLING UNITS AT A BUILDING WHICH HAS DWELLING UNITS ON THE GROUND FLOOR SHALL BE ADAPTABLE AS PER LOCAL LAW 58-27-292.8-B,C. B. BUILDINGS WITH ELEVATORS:

ALL DWELLING UNITS SHALL BE ADAPTABLE AS PER LOCAL LAW 58-27-292.8-B.C. 5. ALL ELEVATORS SHALL COMPLY WITH R.S. 4-6

6. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS AND CURB RAMPS SHALL BE STABLE. FIRM AND SLIP RESISTANT AND

7. ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH R.S. 4-6 SECTION 4.8. 8. ALL STAIRS ALONG AN ACCESSIBLE ROUTE SHALL COMPLY WITH R.S. 4-6 SECTION 4.9.

SHALL COMPLY WITH R.S. 4-6 SECTION 4.9.4. 10. DETECTABLE WARNINGS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH R.S. 4-6 SECTION 4.27. 11. DETECTABLE WARNINGS AT THE TOP OF STAIR RUNS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH

ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2 IN. CHANGE IN LEVEL AND SHALL COMPLY WITH R.S. 4-6

13. ALL DOORS TO ACCESSIBLE SPACES SHALL COMPLY 14. ALL HANDLES, PULLS, LATCHES, LOCKS AND OTHER

OPERATING DEVICES AT ENTRANCE DOORS TO ADAPTABLE UNITS AND AT PUBLIC SPACES SHALL COMPLY WITH R.S. 4-6 SECTION 4.13.9. IF A DOOR CLOSER IS REQUIRED IT SHALL COMPLY WITH

ROOMS AND SPACES SHALL COMPLY WITH R.S. 4-6 SECTION 4.2. REACH RANGES SHALL BE: FORWARD REACH HEIGHT: MINIMUM 15 IN. MAXIMUM 48 IN.

MINIMUM 9 IN. MAXIMUM 54 IN 16. ALL ACCESSIBLE STORAGE FACILITIES SUCH AS CABINETS, SHELVES, CLOSETS, AND DRAWERS SHALL COMPLY WITH R.S. 4-6 SECTION 4.23. 17. ALL CONTROLS AND OPERATING MECHANISMS FOR LIGHT SWITCHES, CIRCUIT BREAKERS IN ADAPTABLE

INTERCOM AND INTERCOM PANELS, MAILBOXES, AND ANY OTHER CONTROLS OR OPERATING MECHANISMS IN AN ACCESSIBLE SPACE OR ALONG AN ACCESSIBLE ROUTE SHALL COMPLY WITH R.S. 4-6 SECTION 4.25. 18. ALL ALARMS SHALL BE BOTH AUDIBLE AND VISIBLE AND COMPLY WITH R.S. 4-6 SECTION 4.26.

ON AN ACCESSIBLE ROUTE AND SHALL COMPLY 20. ALL ADAPTABLE APARTMENT KITCHENS SHALL BE ON AN ACCESSIBLE ROUTE AND SHALL COMPLY

21. ALL KITCHENS PROVIDED FOR PUBLIC USE SHALL BE HANDICAPPED USABLE WITH THE FOLLOWING FIXED ACCESSIBLE FEATURES:

A. WHEELCHAIR TURNING SPACE B. COUNTERS AT A FIXED HEIGHT OF 34 IN. WITH NO BASE CABINETS BELOW FOR THE FOLLOWING

-SINK AND SURROUNDING COUNTER MIN. 30 IN.

-ADDITIONAL WORK SURFACE MIN. 30 IN. C. MAXIMUM HEIGHT OF LOWEST SHELF OF ALL WALL HUNG CABINETS OVER WORK COUNTERS TO BE 48 IN. 22. ALL TOILET ROOMS PROVIDED FOR PUBLIC USE OR COMMON-USE SHALL COMPLY WITH R.S. 4-6 SECTIONS 4.16, 4.17, 4.18, 4.19, AND 4.22. 23. ALL GRAB BARS IN ACCESSIBLE TOILET ROOMS SHALL COMPLY WITH R.S. 4-6 SECTION 4.24. 24. ACCESSIBLE LAUNDRY FACILITIES SHALL COMPLY WITH R.S. 4-6 SECTION 4.32.6.

SPECIAL NOTES

1. THE OWNER/CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE PLANS, INCLUDING FIELD CONDITIONS, CONSTRUCTION DETAILS AND OR SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF

2. THE BUILDING SHALL BE SUFFICIENTLY BRACED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION TO SATISFY RAIN, SNOW OR WIND LOADS. 3. CONTRACTOR TO PERFORM TEST PITS TO VERIFY THE

DEPTH OF FOOTINGS OF THE ADJACENT BUILDINGS. CONTRACTOR TO SUBMIT THE DEPTH (ELEVATION) OF THE FOOTINGS TO THE ARCHITECT

4. CONTRACTOR TO MONITOR ALL EXCAVATION USING MECHANICAL EQUIPMENT. NO USE OF MECHANICAL EQUIPMENT WITHIN 3'-O" OF ADJACENT FOUNDATION

5. WITHIN 3'-O" OF ADJACENT FOUNDATION TO BE EXCAVATED BY HAND AND REPAIR ADJACENT FOUNDATION AS REQUIRED TO INSURE STRUCTURAL STABILITY OF ADJACENT BUILDING.

BFS Architect P.C. 150-55c 14 Avenue 1st Floor Whitestone, NY 11357 Tel: (718) 701-5959 Fax: (718) 701-5960 www.platonicsolidsarch.com info@platonicsolidsarch.com Architecture Consulting Expediting IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. CONTRACTOR IS TO VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. USE DIMENSIONS. DRAWINGS ARE NOT TO BE SCALED. SEAL PROJECT LOCATION 129-24 Merrick Blvd Jamaica NY, 11434 OWNER INFORMATION 129-24 Merrick Blvd LLC 77-25 164th St Queens NY 11432 DRAWING TITLE General notes B S D MM KF B. S NO. DATE REVISION APPROVAL STAMPS **Devin Phillips** OCT 3,1 2019 FXAMINED FOR ZONING EGRESS AND FIRE PREVENTION ONLY AS PER DIR. 2/75 APPLICATION NO EPT BLDGS Job No. 421699790 ESHS02670 scan Code ESHS026701

DRAWING NO.

25 of 25