

BUILDING DEPARTMENT NOTES

- 1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS BEFORE ANY CONSTRUCTION WORK IS STARTED.
2. AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER PRIOR TO COMMENCEMENT OF ANY WORK SEC. C26-118.5
3. UNLESS SUPPORTING MASONRY WALLS OVER 4'-0" SHALL BE FIRE PROTECTED WITH MATERIALS HAVING THE REQUIRED FIRE RESISTIVE RATING OF THE WALL SUPPORTED SEC. C26-102.4
4. SUSPENDED CEILING SHALL HAVE HANGERS AND SUPPORTING GRIDS OF NON-COMBUSTIBLE MATERIALS, SEC C26-504.12
5. INTERIOR FINISHES TO COMPLY WITH SEC. C26-504.10 AND TABLE 5-4.
6. ALL PARTITIONS ENCLOSING TENANT SPACES AND EXIT CORRIDORS SHALL BE CONSTRUCTED OF 5/8" SHEET ROCK FIRE CODE "C" TWO LAYERS ON EACH SIDE OF 3 1/2" METAL STUDS. PARTITIONS SEPARATING TENANTS AND PUBLIC HALL PARTITIONS SHALL BE CARRIED THRU TO UNDERSIDE OF ROOF ABOVE.
7. WHERE NON-COMBUSTIBLE PIPES AND CONDUITS PASS THROUGH RATED CONSTRUCTION, THE AREA OF SUCH OPENING MAY NOT EXCEED 25 SQ. IN. IN ANY 100 SQ. FT. OF WALL OR FLOOR AREA. THE SPACE BETWEEN THE PIPE AND ITS SLEEVE OR OPENING MAY NOT EXCEED 1/2" AND WILL BE PACKED WITH NON-COMBUSTIBLE MATERIAL SUCH AS MINERAL WOOL SEC. 27-343.
8. CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, ETC., THAT WOULD PERMIT PASSAGE OF FLAME, SMOKE, FUMES, OR HOT GASES FROM ONE FLOOR TO ANOTHER, OR FROM ONE CONCEALED AREA TO ANOTHER, SHALL BE FIRESTOPPED TO FORM AN EFFECTIVE DRAFT BARRIER OR SHALL BE FILLED WITH NON-COMBUSTIBLE MATERIAL SEC. 27-345.
9. PLUMBING VENTS SHALL EXTEND ABOVE ROOF AS PER SEC. P100.4(A).
10. ALL ELECTRICAL OUTLETS TO MEET ALL REQUIREMENTS OF THE NYC ELECTRICAL CODE.
11. THE CONTRACTOR MUST OBTAIN A CERTIFICATE OF OCCUPANCY UPON COMPLETION OF ALL WORK ON THIS PLAN TO COMPLY WITH THE BUILDING CODE SUB ARTICLE 121.0
12. CONTROLLED INSPECTION ITEMS: THE FOLLOWING ITEMS OF WORK SHALL BE SUBJECT TO CONTROLLED INSPECTION MADE WITNESSED BY OR UNDER DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER RETAINED BY THE OWNER WHO SHALL BE ACCEPTABLE TO THE ARCHITECT.
A. TEST REPORT AND CERTIFICATE OF INSPECTION SHALL BE FILED WITH THE BUILDING DEPARTMENT.
B. ALL MATERIALS, ASSEMBLIES AND METHOD OF CONSTRUCTION REGULATED BY THE CODE AND NOT LISTED ABOVE SHALL BE SUBJECT TO SEMI CONTROLLED INSPECTION BY THE PERSON SUPERINTENDING THE CONSTRUCTION.
C. SIGNED COPIES OF ALL TESTS AND INSPECTION REPORTS SHALL BE FILED THROUGH THE ARCHITECT WITH THE DEPT.
13. DUCT FIRE RETARDING - DUCTS TO BE FIRE RETARDED AS PER PLANS AND TO BE FIRESTOPPED AT EACH TIER WITH 2" MINERAL WOOL. MAINTAIN 1/2" CLEARANCE BETWEEN DUCTS AND SHEETROCK.
A. ADMINISTRATION
1. SHALL MEET THE FOLLOWING REQUIREMENTS:
a.) IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD, OR
b.) SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS BY THE COMMISSIONER, OR
c.) APPROVED BY THE BOARD OF STANDARDS AND APPEALS, OR BY THE M.E.A. DIVISION OF THE BUILDING DEPARTMENT.
2. AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER BEFORE THE COMMENCEMENT OF WORK.
B. INSPECTION REQUIREMENTS
1. THE FOLLOWING ITEMS OF WORK SHALL BE SUBJECT TO CONTROLLED INSPECTION, MADE AND WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER RETAINED BY THE OWNER WHO SHALL BE ACCEPTABLE TO THE ARCHITECT. TEST REPORT AND CERTIFICATE OF INSPECTION SHALL BE FILED WITH THE BUILDING DEPT.
a.) FIRESTOPPING [504.7 (6)]
1.) HOLLOW PARTITIONS AND FURRED SPACES
2.) DUCT AND PIPE SPACES
2. ALL MATERIALS, ASSEMBLIES AND METHODS OF CONSTRUCTION REGULATED BY THE CODE AND NOT LISTED ABOVE SHALL BE SUBJECT TO SEMI SIGNED COPIES OF ALL TEST AND INSPECTION REPORTS SHALL BE FILED THROUGH THE ARCHITECT WITH THE BUILDING DEPT.
C. FIRE PROTECTION CONSTRUCTION REQUIREMENTS
1. ALL MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH THE FOLLOWING:
a.) IT SHALL CONFORM WITH THE NEBU "FIRE RESISTANCE RATING", OR
b.) IT SHALL HAVE BEEN TESTED IN ACCORDANCE WITH THE ASTM E-199 "STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS" AND ACCEPTED BY THE COMMISSIONER, OR
c.) IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE.
2. OPENING PROTECTIVES INCLUDING FRAMES, SELF-CLOSING DEVICES AND HARDWARE SHALL COMPLY WITH ASTM E-108, "STANDARD METHODS OF FIRE TEST OF DOOR ASSEMBLIES" AND ASTM E-163.
3. INTERIOR FINISH MATERIAL SHALL BE CLASSIFIED IN ACCORDANCE WITH THE SURFACE FLAME-SPREAD RATING OBTAINED AS PRESCRIBED IN ASTM E-84 "STANDARD METHOD OF TEST FOR SURFACE BUILDING CHARACTERISTICS OF BUILDING MATERIALS." THE CLASSES OF THESE SCHEDULES: INTERIOR FINISH SHALL BE GROUPED INTO
INTERIOR FINISH CLASS / FLAME SPREAD CLASS
A 0-25
B 26-75
C 76-225
D OVER 225
INTERIOR FINISH EXCEPT FINISH FLOORING AND FLOOR COVERING, WALL COVERINGS LESS THAN 0.036" IN TOTAL THICKNESS, SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN THAT LISTED.

LEGEND

Legend table with 8 items. Item 1: NEW POURED CONCRETE FOUNDATION WALL @ PROPERTY LINE AND FOOTING (4000 PSI MIN.) @ PROPERTY LINE (R-7.5ci CLOSED CELL FOAM INSULATION). Item 2: NEW POURED CONCRETE FOUNDATION WALL AND FOOTING (4000 PSI MIN.) (R-7.5ci CLOSED CELL FOAM INSULATION). Item 3a: 12" BLOCK WALL AS PER STRUCTURAL DRAWINGS - REINFORCED C.M.U. 75% SOLID (R-6 CLOSED CELL FOAM INSULATION) 1 1/2" 16 GA. METAL STUDS @ 16" O.C. WITH ONE LAYER 3/8" TYPE 'X' GYPSUM BOARD * WITH BRICK FINISH ON FRONT EXTERIOR SIDE @1st FLR ONLY. * WITH STUCCO FINISH ON EXTERIOR SIDE. Item 3: 8" BLOCK WALL AS PER STRUCTURAL DRAWINGS - REINFORCED C.M.U. 75% SOLID R-11.4ci MIN. EXTERIOR INSULATION 1 1/2" 16 GA. METAL STUDS @ 16" O.C. WITH ONE LAYER 3/8" TYPE 'X' GYPSUM BOARD * WITH STUCCO FINISH ON EXTERIOR SIDE. Item 4a: 8" BLOCK WALL AS PER STRUCTURAL DRAWINGS - REINFORCED C.M.U. 75% SOLID (R-6 CLOSED CELL FOAM INSULATION) 1 1/2" 16 GA. METAL STUDS @ 16" O.C. WITH ONE LAYER 3/8" TYPE 'X' GYPSUM BOARD. Item 4b: 8" BLOCK WALL AS PER STRUCTURAL DRAWINGS - REINFORCED C.M.U. 75% SOLID R-11.4ci MIN. EXTERIOR INSULATION (R-6 CLOSED CELL FOAM INSULATION) 1 1/2" 16 GA. METAL STUDS @ 16" O.C. WITH ONE LAYER 3/8" TYPE 'X' GYPSUM BOARD. Item 4: 12" BLOCK WALL AS PER STRUCTURAL DRAWINGS - REINFORCED C.M.U. 75% SOLID W/ STUCCO FINISH (R-6 CLOSED CELL FOAM INSULATION) 1 1/2" 16 GA. METAL STUDS @ 16" O.C. WITH ONE LAYER 3/8" TYPE 'X' GYPSUM BOARD. Item 5: 3 1/2" METAL STUDS @ 16" O.C. WITH (R-13 CLOSED CELL FOAM INSULATION) ONE LAYER OF 3/8" TYPE 'X' GYP. BD. ON INTERIOR SIDE 3/8" DENSEGLASS, ON EXTERIOR SIDE 1 1/2" FELT OR TYVEK R-7.5ci MIN. EXTERIOR INSULATION AND STUCCO FINISH. Item 6: NEW 2-HOUR RATED INTERIOR PARTITION - 3 1/2" 16 GA. METAL STUDS @ 16" O.C. WITH TWO LAYERS OF 3/8" TYPE 'X' GYPSUM BOARD ON EACH SIDE. STC RATING 50 MIN. Item 7: NEW NON-RATED NON-BEARING INTERIOR PARTITION - 3 1/2" 16 GA. MTL. STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE. Item 8: NEW NON-COMBUSTIBLE 42" PARAPET WALL.

SCOPE OF WORK

PROPOSED NEW FOUR (4) STORY WITH CELLAR; SIX (6) FAMILY NEW MIXED-USE BUILDING
OCCUPANCY CLASS: R-2 CONSTRUCTION CLASS: IIA USE GROUP : 2

DRAWING LIST RELATED APPLICATIONS

Table with 3 columns: Zoning Info, Legend & Notes, DM#, and Demolition. Includes entries for Z-100, Z-101, Z-102, EN-100, EN-101, EN-102, A-100, A-101, A-200, A-300, A-301, A-400, A-401, A-402, P-100, SOE-100, S-100, S-101, G-100, G-101, G-102, G-103, G-104, G-105.

SYMBOLS

Symbol key including: Section Number (A-57), Sheet Number (A-6), Detail Number (A-6), Direction of View (A-4), View Number (A-4), Sheet Number (A-4), Revision Number (1), Elevation (72.57), Center Line, New York City Approved Type Smoke Detector, Carbon Monoxide Detector, Hard Wired, Mechanical Vent 50 CFM Min or as noted on plans, Outside Area Drain, Floor Drain, Window Number (5), Door Number (1), Illuminated Exit Sign.

ZONING ANALYSIS

Zoning analysis text including: BLOCK: 12538, ZONE: RSD/C2-3 (APPLICABLE AS PER ZR 77-10 & 77-20), LOT: 1, MAP No: 19a. LOT AREA = 1,114.25 + 3,031.70 = 4,145.95 SF (AS PER SURVEY). PROPOSED F.A., GROSS F.A., NET F.A. table. PROPOSED 7,253.98 S.F. < 8,291.90 S.F. ALLOWABLE THEREFORE, OK! PROPOSED LOT COVERAGE: 2,082.85 S.F. PROPOSED 2,082.85 S.F. (50%) < 2,487.57 S.F. MAX. ALLOWED THEREFORE, OK! PROPOSED DENSITY FACTOR FOR R5 = 760. MAX. ALLOW. D.U. = 7,253.98 / 760 = 9.5 OR 10 D.U. MAX. PROPOSED DWELLING UNITS: 6 D.U. PROPOSED < 10 ALLOW. THEREFORE, OK!

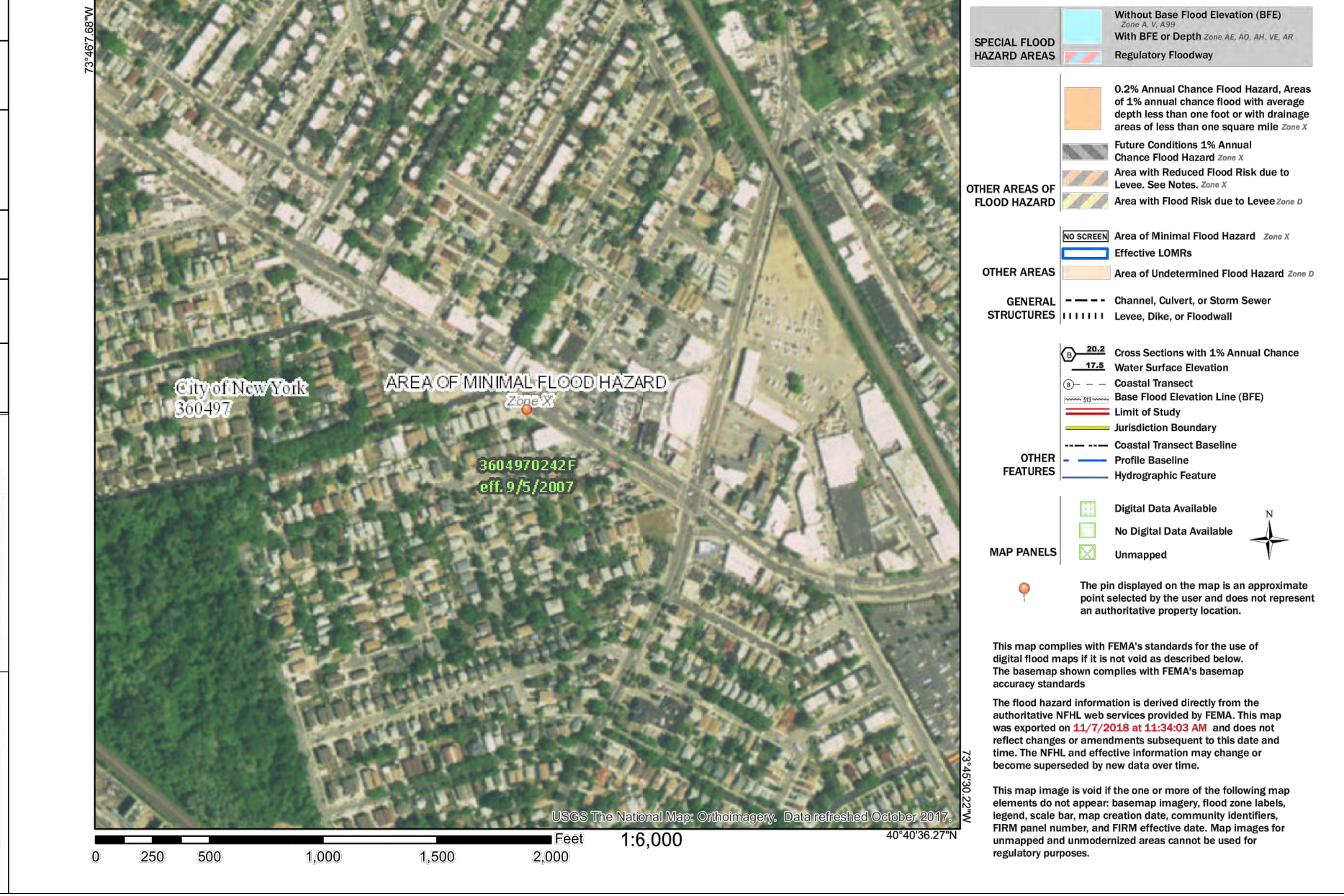
SPECIAL NOTES

- 1. THE OWNER/CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE PLANS, INCLUDING FIELD CONDITIONS, CONSTRUCTION DETAILS AND OR SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF ANY WORK.
2. THE BUILDING SHALL BE SUFFICIENTLY BRACED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION TO SATISFY RAIN, SNOW OR WIND LOADS.
3. CONTRACTOR TO PERFORM TEST PITS TO VERIFY THE DEPTH OF FOOTINGS OF THE ADJACENT BUILDINGS. CONTRACTOR TO SUBMIT THE DEPTH (ELEVATION) OF THE FOOTINGS TO THE ARCHITECT.
4. CONTRACTOR TO MONITOR ALL EXCAVATION USING MECHANICAL EQUIPMENT. NO USE OF MECHANICAL EQUIPMENT WITHIN 3'-0" OF ADJACENT FOUNDATION.
5. WITHIN 3'-0" OF ADJACENT FOUNDATION TO BE EXCAVATED BY HAND AND REPAIR ADJACENT FOUNDATION AS REQUIRED TO INSURE STRUCTURAL STABILITY OF ADJACENT BUILDING.

FLOOD DATA



National Flood Hazard Layer FIRMette



Updated FEMA Flood Hazard Data
FEMA flood hazard data currently available for coastal areas of New York and New Jersey is provided below to help you understand the current flood risk to your property and to guide Sandy recovery and rebuilding efforts.
Note: This tool provides flood zone and Base Flood Elevation (BFE) information for areas affected by coastal flood risk. However, riverine flood zone information will also be returned by the tool in communities where preliminary FIRMs have been released.

Table with 2 columns: Attribute Name, Attribute Value. Includes: What is the most recent FEMA flood hazard data source available for this location? (PRELIMINARY FLOOD INSURANCE RATE MAP (FIRM)), What is my property's Base Flood Elevation (BFE)? (N/A), What is my property's Flood Zone? (X), Is my Property in the Area of Moderate Wave Action? (N/A), What is the estimated ground elevation at this location? (N/A), What does my FEMA Flood Hazard Map Panel Look Like? (N/A), View your property on our Interactive Web Tool (Link to Web Tool), Where can I get the GIS data for my property area? (N/A).

Table with 2 columns: Attribute Name, Attribute Value. Includes: What is my property's current effective Base Flood Elevation? (N/A), What is my property's current effective Flood Zone? (N/A), View your property on our Interactive Web Tool (Link to Web Tool for Effective Data).

FLOOD DATA COMPLIANCE

THESE PLANS ARE IN COMPLIANCE WITH APPENDIX G OF 2014 NYC BUILDING CODE

MODULAR CONSTRUCTION NOTE

THIS IS NOT A PRE-FABRICATED BUILDING NOR DOES IT INCLUDED MODULAR CONSTRUCTION .

CONSTRUCTION TYPE

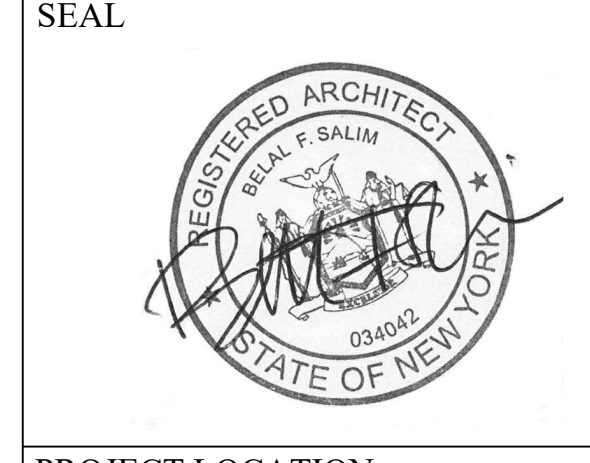
Table with columns: Building Height (ft), Type I, Type II, Type III, Type IV, Type V. Rows: A-1, A-2, I-4, M, R-1, R-2, R-3.

SPECIAL & PROGRESS INSPECTIONS

- STRUCTURAL COLD-FORMED STEEL
CONCRETE - CAST-IN-PLACE
MASONRY
SUBGRADE INSPECTION
SUBSURFACE INVESTIGATIONS (BORINGS/TEST PITS)
MECHANICAL SYSTEMS
EXCAVATION - SHEETING, SHORING, AND BRACING
SOIL PERCOLATION TEST- PRIVATE ON-SITE STORM WATER DRAINAGE DISPOSAL SYSTEMS AND DETENTION FACILITIES
PRIVATE ON-SITE STORM WATER DRAINAGE DISPOSAL SYSTEMS AND DETENTION FACILITIES INSTALLATION
SPRINKLER SYSTEMS
HEATING SYSTEMS
FIRE-RESISTANT PENETRATIONS AND JOINTS
CONCRETE DESIGN MIX
CONCRETE SAMPLING AND TESTING
FOOTING & FOUNDATION
ENERGY CODE COMPLIANCE INSPECTIONS
FIRE-RESISTANCE RATED CONSTRUCTION
INSULATION PLACEMENT AND R VALUES
FENESTRATION U FACTOR AND PRODUCT RATING
FENESTRATION AIR LEAKAGE
FENESTRATION AREAS
AIR SEALING AND INSULATION
SHUT OFF DAMPERS
HVAC AND SERVICE WATER HEATING EQUIPMENT
HVAC AND SERVICE WATER HEATING SYSTEM CONTROLS
HVAC INSULATION AND SEALING
ELECTRICAL ENERGY CONSUMPTION
LIGHTING IN DWELLING UNITS
INTERIOR LIGHTING POWER
EXTERIOR LIGHTING POWER
LIGHTING CONTROLS
MAINTENANCE INFORMATION

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PROJECT LOCATION

129-24 Merrick Blvd
Jamaica NY, 11434

OWNER INFORMATION

129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432

DRAWING TITLE

Zoning Analysis, Sky Exposure Plane, Flood Zone & Notes

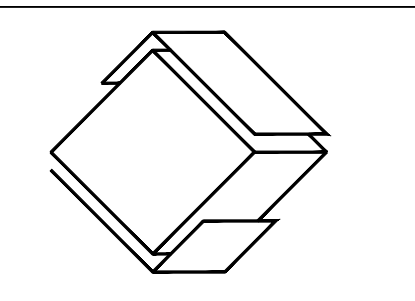
Table with columns: DRAWN BY, CHECKED BY, JOB NO., SCALE, AS SHOWN, DATE. Includes: B. SALIM, 10/29/18.

APPROVAL STAMPS

Approval stamp for Devin K. Phillips, APPROVED, Date: 02/10/2021.

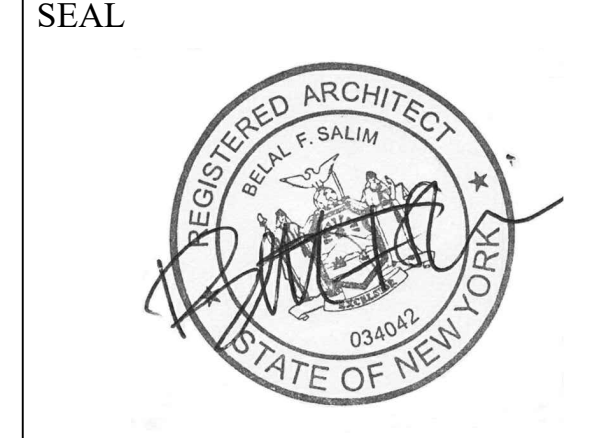
APPLICATION NO.

DRAWING NO.
Z-100.01
1 of 25



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PROJECT LOCATION
 129-24 Merrick Blvd
 Jamaica NY, 11434

OWNER INFORMATION
 129-24 Merrick Blvd LLC
 77-25 164th St
 Queens NY 11432

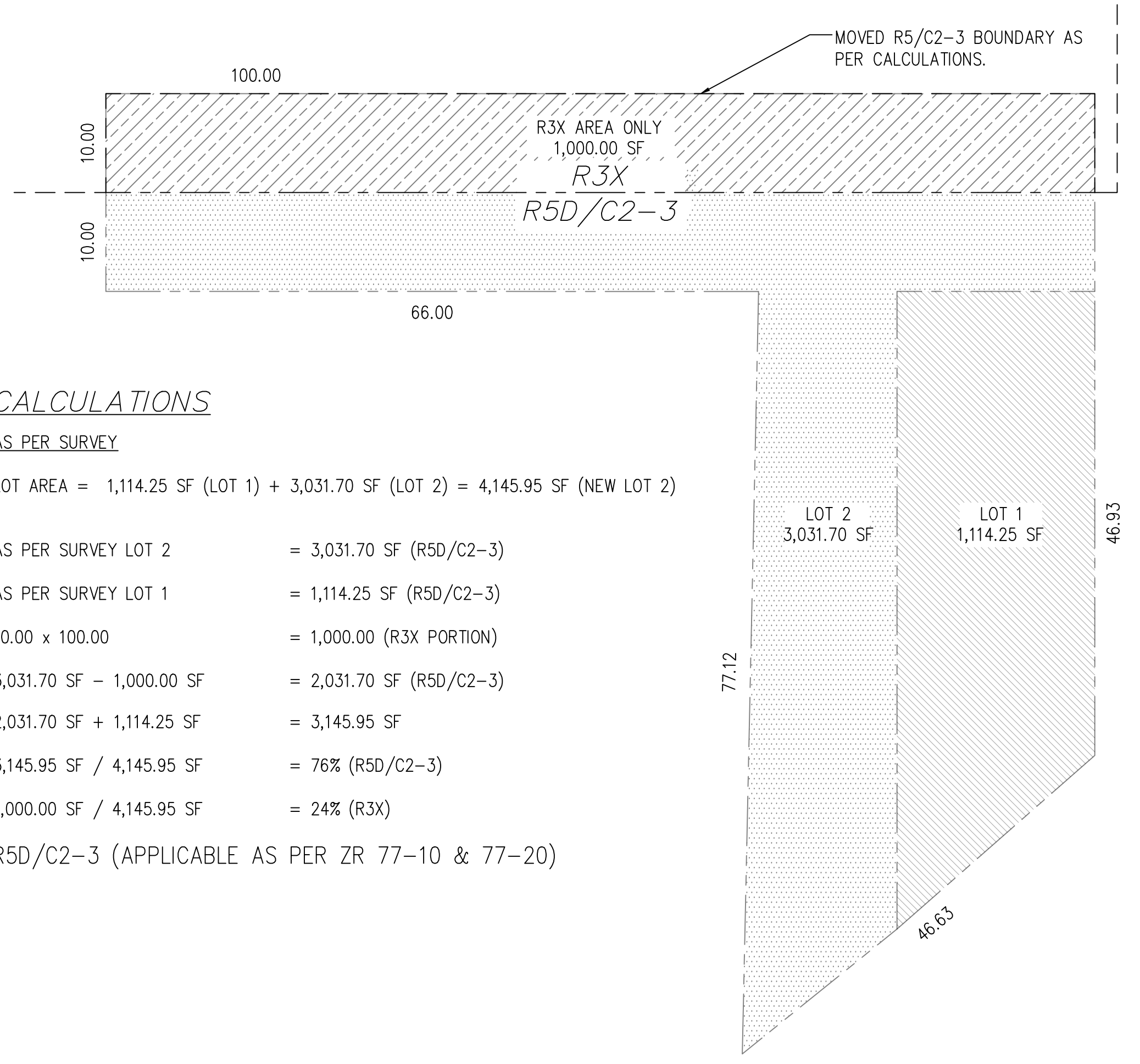
DRAWING TITLE
 Diagrams

DRAWN BY	CHECKED BY	JOB NO.	SCALE	AS SHOWN	DATE
	B. SALIM				10/29/18



APPLICATION NO.

DRAWING NO.
Z-101.01
 2 of 25



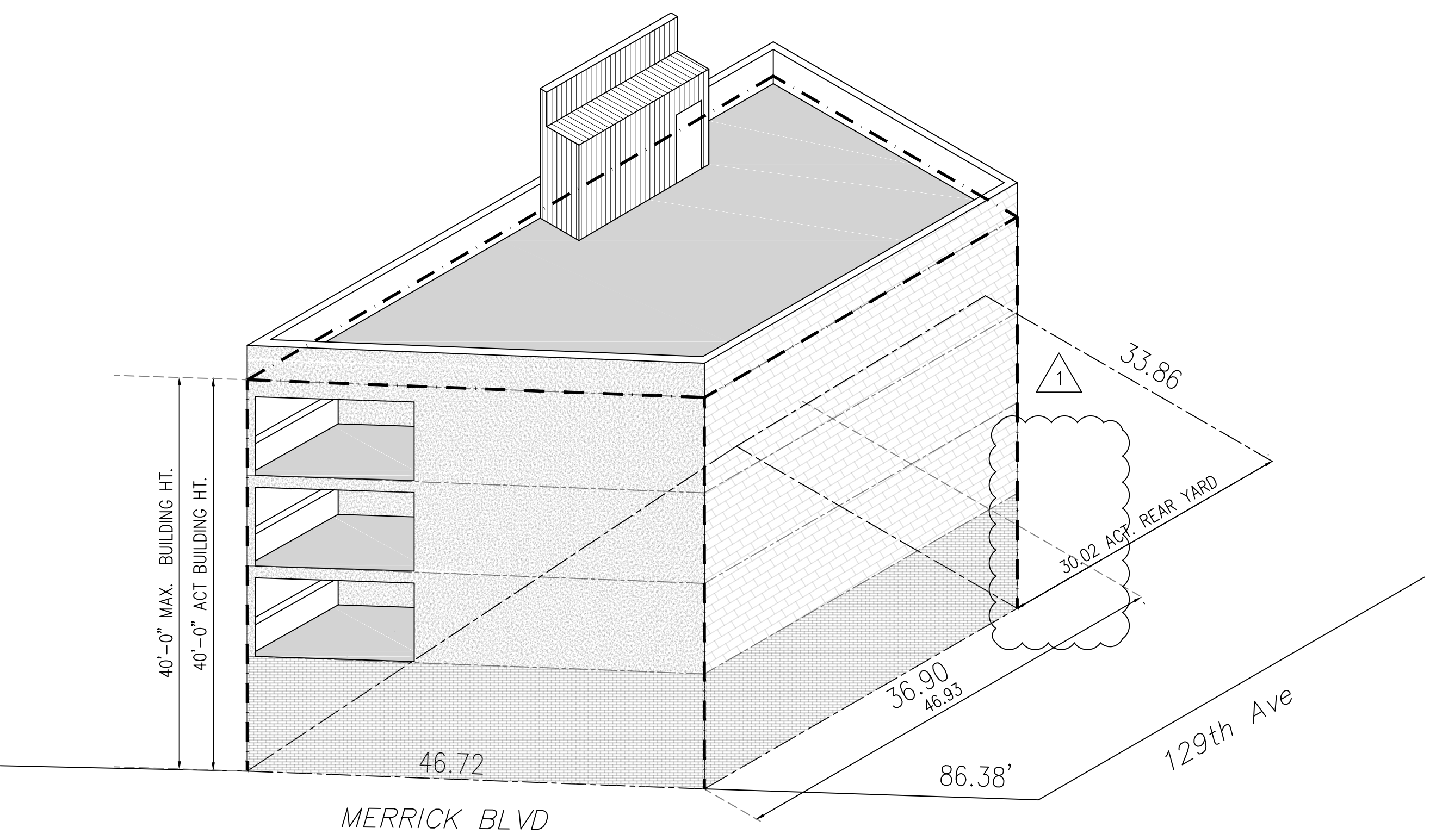
CALCULATIONS

AS PER SURVEY
 LOT AREA = 1,114.25 SF (LOT 1) + 3,031.70 SF (LOT 2) = 4,145.95 SF (NEW LOT 2)

AS PER SURVEY LOT 2 = 3,031.70 SF (R5D/C2-3)
 AS PER SURVEY LOT 1 = 1,114.25 SF (R5D/C2-3)

10.00 x 100.00 = 1,000.00 (R3X PORTION)
 3,031.70 SF - 1,000.00 SF = 2,031.70 SF (R5D/C2-3)
 2,031.70 SF + 1,114.25 SF = 3,145.95 SF
 3,145.95 SF / 4,145.95 SF = 76% (R5D/C2-3)
 1,000.00 SF / 4,145.95 SF = 24% (R3X)

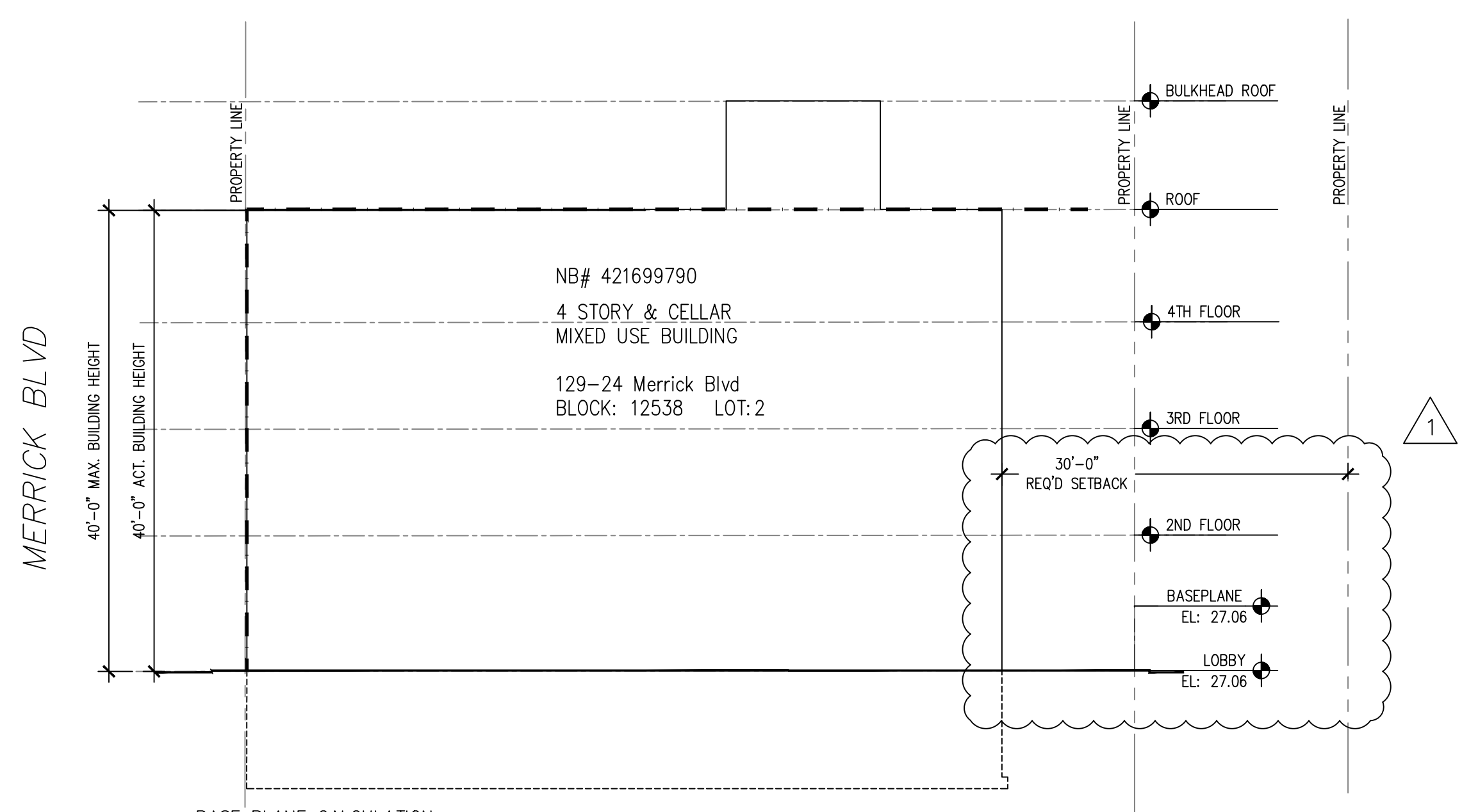
R5D/C2-3 (APPLICABLE AS PER ZR 77-10 & 77-20)



AXONOMETRIC
 SCALE: 3/32" = 1'-0"

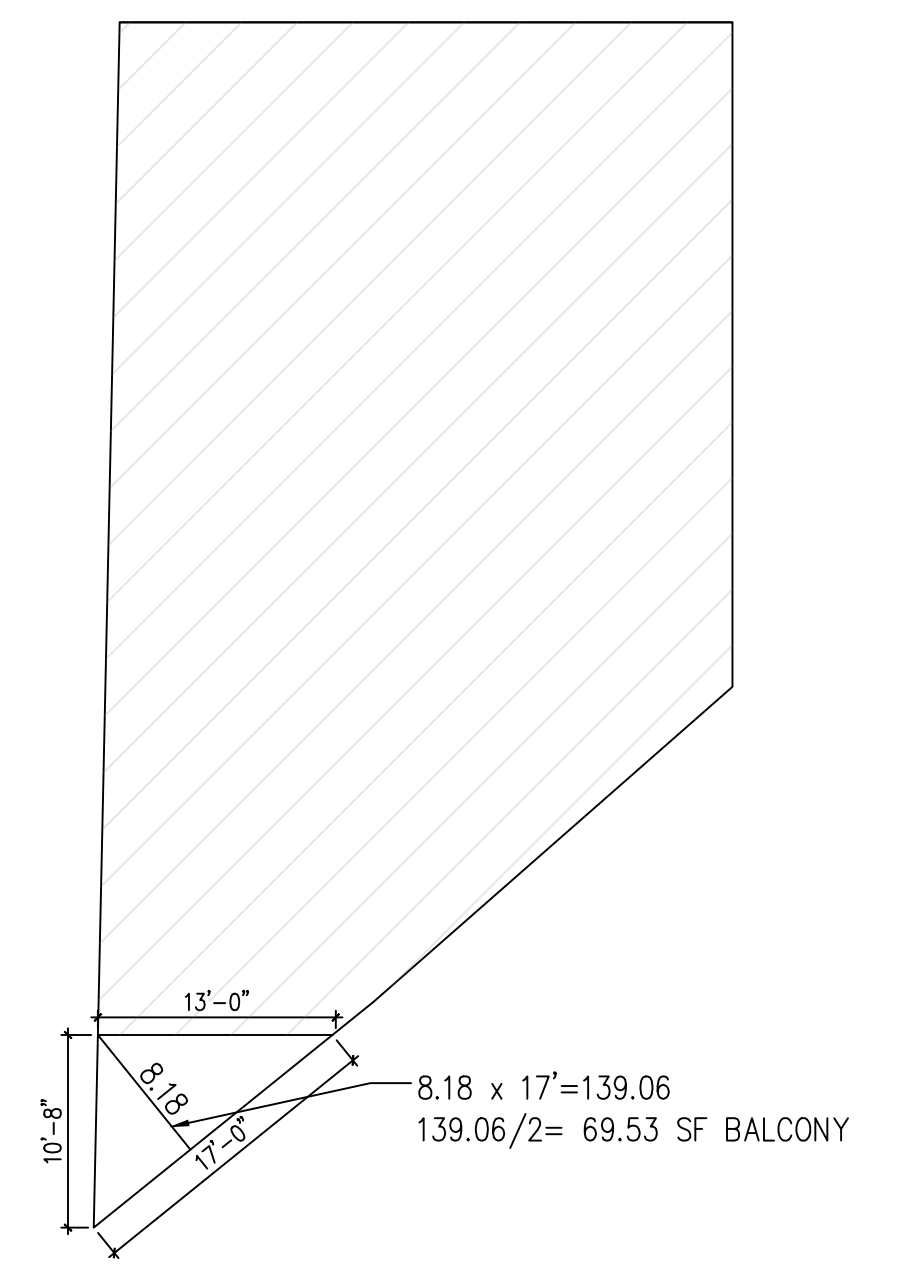
LEGEND

- ZONING LOT LINE
- PROPOSED BUILDING
- BUILDING ENVELOPE
- ADJACENT BUILDING FOOTPRINT
- PERMITTED OBSTRUCTION



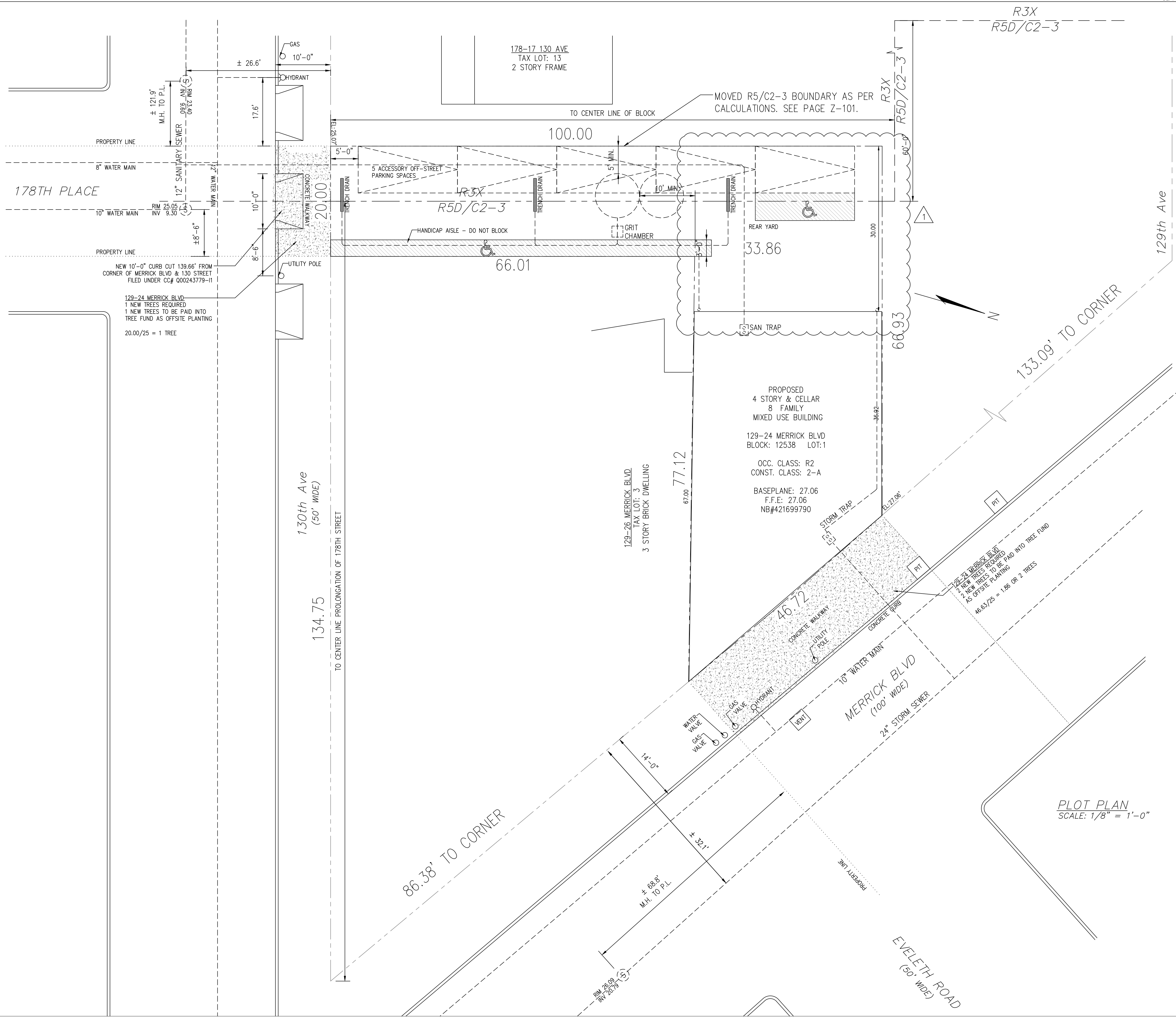
BASE PLANE CALCULATION:
 PLE: 27.06 + 27.06 = 54.12 / 2 = 27.06 @ BASE PLANE

HEIGHT & SETBACK DIAGRAM
 SCALE: 3/32" = 1'-0"



FLOOR AREA DIAGRAM
 SCALE: 3/32" = 1'-0"

SEC. 1002.1
FLOOR AREA, GROSS.
 THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING UNDER CONSIDERATION, EXCLUSIVE OF COURTS, WITHOUT DEDUCTION FOR CORRIDORS, STAIRWAYS, CLOSETS, THE THICKNESS OF INTERIOR WALLS, COLUMNS OR OTHER FEATURES. THE FLOOR AREA OF A BUILDING, OR PORTION THEREOF, NOT PROVIDED WITH SURROUNDING EXTERIOR WALLS SHALL BE THE USABLE AREA UNDER THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE. THE GROSS FLOOR AREA SHALL NOT INCLUDE INTERIOR COURT.



129-24 MERRICK BLVD
1 NEW TREES REQUIRED
1 NEW TREES TO BE PAID INTO
TREE FUND AS OFFSITE PLANTING
20.00/25 = 1 TREE

NEW 10'-0" CURB CUT 139.66' FROM
CORNER OF MERRICK BLVD & 130 STREET
FILED UNDER CC# Q00243779-11

PROPERTY LINE

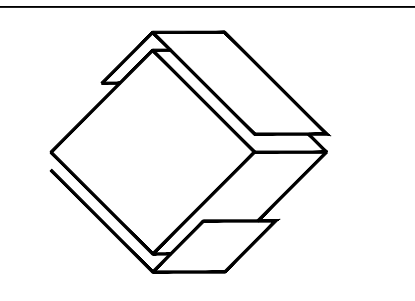
PROPERTY LINE

PROPOSED
4 STORY & CELLAR
8 FAMILY
MIXED USE BUILDING
129-24 MERRICK BLVD
BLOCK: 12538 LOT: 1
OCC. CLASS: R2
CONST. CLASS: 2-A
BASEPLANE: 27.06
F.F.E: 27.06
NB#421699790

129-26 MERRICK BLVD
TAX LOT: 3
3 STORY BRICK DWELLING

178-17 130 AVE
TAX LOT: 13
2 STORY FRAME

MOVED R5/C2-3 BOUNDARY AS PER
CALCULATIONS. SEE PAGE Z-101.



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TO THE ARCHITECT BEFORE PROCEEDING
WITH WORK. USE DIMENSIONS. DRAWINGS
ARE NOT TO BE SCALED.

SEAL



PROJECT LOCATION

129-24 Merrick Blvd
Jamaica NY, 11434

OWNER INFORMATION

129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432

DRAWING TITLE

Plot Plan

DRAWN BY	CHECKED BY	JOB NO.	SCALE	AS SHOWN	DATE
	B. SALIM				10/29/18

NO.	DATE	REVISION
1	01/18/21	REVISIONS

APPROVAL STAMPS



APPLICATION NO.

DRAWING NO.

Z-102.01

NYCECC C302- DESIGN CONDITIONS

INTERIOR DESIGN TEMPERATURES USED FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE MAXIMUM 72°F FOR HEATING AND MINIMUM 75°F FOR COOLING.

NYCECC C401- GENERAL REQUIREMENTS

COMPLIANCE

THIS PROPOSED 4 STORY, 6 FAMILY NEW BUILDING SHALL COMPLY WITH SECTIONS C402-C405 & C406.5 OF THE 2016 NYCECC.

NYCECC C402- BUILDING THERMAL ENVELOPE

INSULATION COMPONENT R-VALUE (C402.1)

BUILDING THERMAL ENVELOPE ASSEMBLIES SHALL MEET REQUIREMENTS OF SECTIONS C402.2 AND C402.4 BASED ON CLIMATE ZONE 4 AS PER CHAPTER C3. R-VALUES SHALL MEET THE REQUIREMENTS OF TABLE C402.1.3

- MULTIPLE LAYERS OF CONTINUOUS INSULATION ARE USED, THE CONTINUOUS INSULATION BOARD SHALL BE STAGGERED
- MINIMUM THERMAL RESISTANCE OF ROOF ASSEMBLY WHEN USING TAPERED INSULATION ENTIRELY ABOVE DECK SHALL COMPLY WITH TABLE C402.1.3 (FOR TAPERED INSULATION MIN. REQUIRED THICKNESS MAY VARY UP TO 1" LESS THAN THE REQUIREMENTS OF TABLE C402.1.3)
- WHERE THE SLAB-ON-GRADE FLOOR IS GREATER THAN 24 INCHES (61 MM) BELOW THE FINISHED EXTERIOR GRADE, PERIMETER INSULATION IS NOT REQUIRED.
- WOOD BURNING FIRE PLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR TIGHT-FITTING DOORS.

FENESTRATION (C402.4)

FENESTRATION SHALL COMPLY WITH SECTIONS C402.4 THROUGH C402.4.4 AND TABLE C402.4

THE VERTICAL FENESTRATION AREA (NOT INCLUDING OPAQUE DOORS AND OPAQUE SPANDREL SHALL NOT BE GREATER THAN 30 PERCENT OF THE GROSS ABOVE-GRADE WALL AREA. THE SKYLIGHT AREA SHALL NOT BE GREATER THAN 3 PERCENT OF THE GROSS ROOF AREA.

THE MAXIMUM U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT (SHGC) FOR FENESTRATION SHALL BE AS SPECIFIED IN TABLE C402.4.

AIR LEAKAGE (C402.5)

BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS C402.5.1 THROUGH R402.5.8.

- A CONTINUOUS AIR BARRIER SHALL BE INSTALLED INSIDE OR OUTSIDE OF THE BUILDING ENVELOPE.
- BREAKS OR JOINTS SHALL BE SEALED AND PENETRATIONS OF THE AIR BARRIER SHALL BE CAULKED, GASKETED OR SEALED.
- FENESTRATION SHALL HAVE AN AIR INFILTRATION RATE COMPLYING WITH TABLE C402.5.2
- ROOMS CONTAINING FUEL BURNING APPLIANCES THAT ARE NOT DIRECT VENTED SHALL BE THERMALLY ISOLATED FROM BUILDING THERMAL ENVELOPE.
- DOORS & ACCESS OPENINGS TO SHAFTS, CHUTES, STAIRWAYS & ELEVATOR LOBBIES SHALL BE GASKETED, WEATHERSTRIPPED OR SEALED
- DAMPERS SHALL BE PROVIDED AT STAIRWAY ENCLOSURE, ELEVATOR SHAFT VENTS AND OTHER OUTDOOR AIR INTAKES AND EXHAUST OPENINGS COMPLYING WITH SECTION C403.2.4.3
- VESTIBLES SHALL BE PROVIDED AS PER C402.5.7
- ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM AND SHALL BE SEALED WITH A GASKET OR CAULKED.

NYCECC C403-BUILDING MECHANICAL SYSTEMS

SEE MECHANICAL DRAWINGS UNDER SEPARATE APPLICANT.

MECHANICAL SYSTEMS AND EQUIPMENT SERVING THE BUILDING HEATING, COOLING OR VENTILATING NEEDS SHALL COMPLY WITH SECTION C403.2 AND SHALL COMPLY WITH SECTIONS C403.3 AND C403.4 BASED ON THE EQUIPMENT AND SYSTEMS PROVIDED.

MECHANICAL SYSTEMS (C403.2)

MECHANICAL SYSTEMS AND EQUIPMENT SERVING THE BUILDING HEATING, COOLING OR VENTILATING NEEDS SHALL COMPLY WITH SECTIONS C403.2.1 THROUGH C403.2.18

HEATING & COOLING LOADS (C403.2.1)

DESIGN LOADS ASSOCIATED WITH HEATING, VENTILATING AND AIR CONDITIONING OF THE BUILDING SHALL BE DETERMINED IN ACCORDANCE WITH ANSI/ASHRAE/ACCA STANDARD 183 OR BY AN APPROVED EQUIVALENT COMPUTATIONAL PROCEDURE USING THE DESIGN PARAMETERS SPECIFIED IN CHAPTER C3.

EQUIPMENT SIZING (C403.2.2)

THE OUTPUT CAPACITY OF HEATING AND COOLING EQUIPMENT SHALL BE NOT GREATER THAN THE LOADS CALCULATED IN ACCORDANCE WITH SECTION C403.2.1.

HVAC EQUIPMENT PERFORMANCE (C403.2.3)

EQUIPMENT SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENTS OF TABLES C403.2.3(1), C403.2.3(2), C403.2.3(3), C403.2.3(4), C403.2.3(5), C403.2.3(6), C403.2.3(7), C403.2.3(8), C403.2.3(9), C403.2.3(11), AND C403.2.3(12)

HVAC EQUIPMENT PERFORMANCE (C403.2.4)

EACH HEATING SYSTEM SHALL BE PROVIDED WITH THERMOSTATIC CONTROLS AS SPECIFIED IN SECTIONS C403.2.4.1, C403.2.4.1.3, C403.2.4.2, C403.2.4.3, C403.3.1, C403.4, C403.4.1, OR C403.4.4

- THE SUPPLY OF HEATING AND COOLING ENERGY TO EACH ZONE SHALL BE CONTROLLED BY INDIVIDUAL THERMOSTATIC CONTROLS CAPABLE OF RESPONDING TO TEMPERATURE WITH IN THE ZONE.
- HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTARY HEAT OPERATION WHERE THE HEAT PUMP CAN PROVIDE THE HEATING LOAD.
- WHERE USED TO CONTROL BOTH HEATING AND COOLING, ZONE THERMOSTATIC CONTROLS SHALL BE CAPABLE OF PROVIDING A TEMPERATURE RANGE OR DEADBAND OF AT LEAST 5° (2.8°C) WITHIN WHICH THE SUPPLY OF HEATING AND COOLING ENERGY TO THE ZONE IS CAPABLE OF BEING SHUT OFF OR REDUCED TO A MINIMUM

EACH ZONE SHALL BE PROVIDED WITH THERMOSTATIC SETBACK CONTROLS THAT ARE CONTROLLED BY EITHER AN AUTOMATIC TIME CLOCK OR PROGRAMMABLE CONTROL SYSTEM.

OUTDOOR AIR INTAKE AND EXHAUST OPENINGS AND STAIRWAY AND SHAFT VENTS SHALL BE PROVIDED WITH CLASS I MOTORIZED DAMPERS.

- THE DAMPERS SHALL HAVE AN AIR LEAKAGE RATE NOT GREATER THAN 4 CFM/FT².
- OUTDOOR AIR INTAKE AND EXHAUST DAMPERS SHALL BE INSTALLED WITH AUTOMATIC CONTROLS CONFIGURED TO CLOSE WHEN THE SYSTEMS OR SPACES SERVED ARE NOT IN USE OR DURING UNOCCUPIED PERIOD WARM-UP AND SETBACK OPERATION, UNLESS THE SYSTEMS SERVED REQUIRE OUTDOOR OR EXHAUST AIR IN ACCORDANCE WITH THE NEW YORK CITY MECHANICAL CODE OR THE DAMPERS ARE OPENED TO PROVIDE INTENTIONAL ECONOMIZER COOLING.
- STAIRWAY AND SHAFT VENT DAMPERS SHALL BE INSTALLED WITH AUTOMATIC CONTROLS CONFIGURED TO OPEN UPON THE ACTIVATION OF ANY FIRE ALARM INITIATING DEVICE OF THE BUILDING'S FIRE ALARM SYSTEM OR THE INTERRUPTION OF POWER TO THE DAMPER.

OUTDOOR TEMPERATURE SETBACK CONTROL (C403.2.5)

BOILERS SHALL HAVE AN OUTDOOR SETBACK CONTROL THAT LOWERS THE BOILER WATER TEMPERATURE BASED ON THE OUTDOOR TEMPERATURE

VENTILATION (C403.2.6)

VENTILATION, EITHER NATURAL OR MECHANICAL, SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 4 OF THE NEW YORK CITY MECHANICAL CODE.

KITCHEN EXHAUST (C403.2.8)

REPLACEMENT AIR INTRODUCED DIRECTLY INTO THE EXHAUST HOOD CAVITY SHALL NOT BE GREATER THAN 10 PERCENT OF THE HOOD EXHAUST AIRFLOW RATE

DUCT & PLENUM INSULATION & SEALING (C403.2.9)

SUPPLY AND RETURN DUCTS & PLENUMS SHALL BE INSULATED WITH MIN. R6 WHEN LOCATED IN UNCONDITIONED SPACES AND MIN. R8 WHEN LOCATED OUTSIDE OF BUILDING. DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED.

- DUCTWORK SHALL BE CONSTRUCTED AND ERECTED IN ACCORDANCE WITH THE NEW YORK CITY MECHANICAL CODE

ENERGY ANALYSIS (CLIMATE ZONE: 4A)

NYCECC CITATION	PROVISION	ITEM DESCRIPTION	CODE PRESCRIPTIVE VALUE	PROPOSED DESIGN VALUE	SUPPORTING DOCUMENTATION
BUILDING ENVELOPE: OPAQUE THERMAL INSULATION MIN. REQUIREMENTS					
TABLE C402.1.3	ROOFS INSULATION ENTIRELY ABOVE DECK	TAPERED RIGID INSULATION BOARD	R-30ci	R-30ci (6" RIGID INSULATION BOARD)	BUILDING SECTIONS & DETAILS (A-300, A-301 & G-100)
TABLE C402.1.3	WALLS ABOVE GRADE MASS WALLS	<ul style="list-style-type: none"> BLOCK WALL & STUCCO FINISH WITH CONTINUOUS RIGID BOARD INSULATION BLOCK WALL BLOCK WALL 	R-11.4ci N/A (BUILDING NEXT TO PROPOSED) R-11.4ci	R-11.4ci MIN. EXTERIOR INSULATION R-6 CLOSED CELL FOAM INSULATION R-11.4ci MIN. EXTERIOR INSULATION + R-6 CLOSED CELL FOAM INSULATION	BUILDING SECTIONS & DETAILS (A-300, A-301 & G-100) (4TH FLOOR AND BULKHEAD ONLY)
	METAL FRAME WALL	MTL. FRAME & STUCCO WALL WITH SPRAY INSULATION & CONTINUOUS RIGID BOARD INSULATION	R-13 + R-7.5ci	R-13 CLOSED CELL FOAM INSULATION+ R-7.5ci MIN. EXTERIOR INSULATION	
TABLE C402.1.3	WALLS BELOW GRADE	POURED CONCRETE WITH SPRAY INSULATION	R-7.5ci	R-7.5ci CLOSED CELL FOAM INSULATION	BUILDING SECTIONS & DETAILS (A-300, A-301 & G-100)

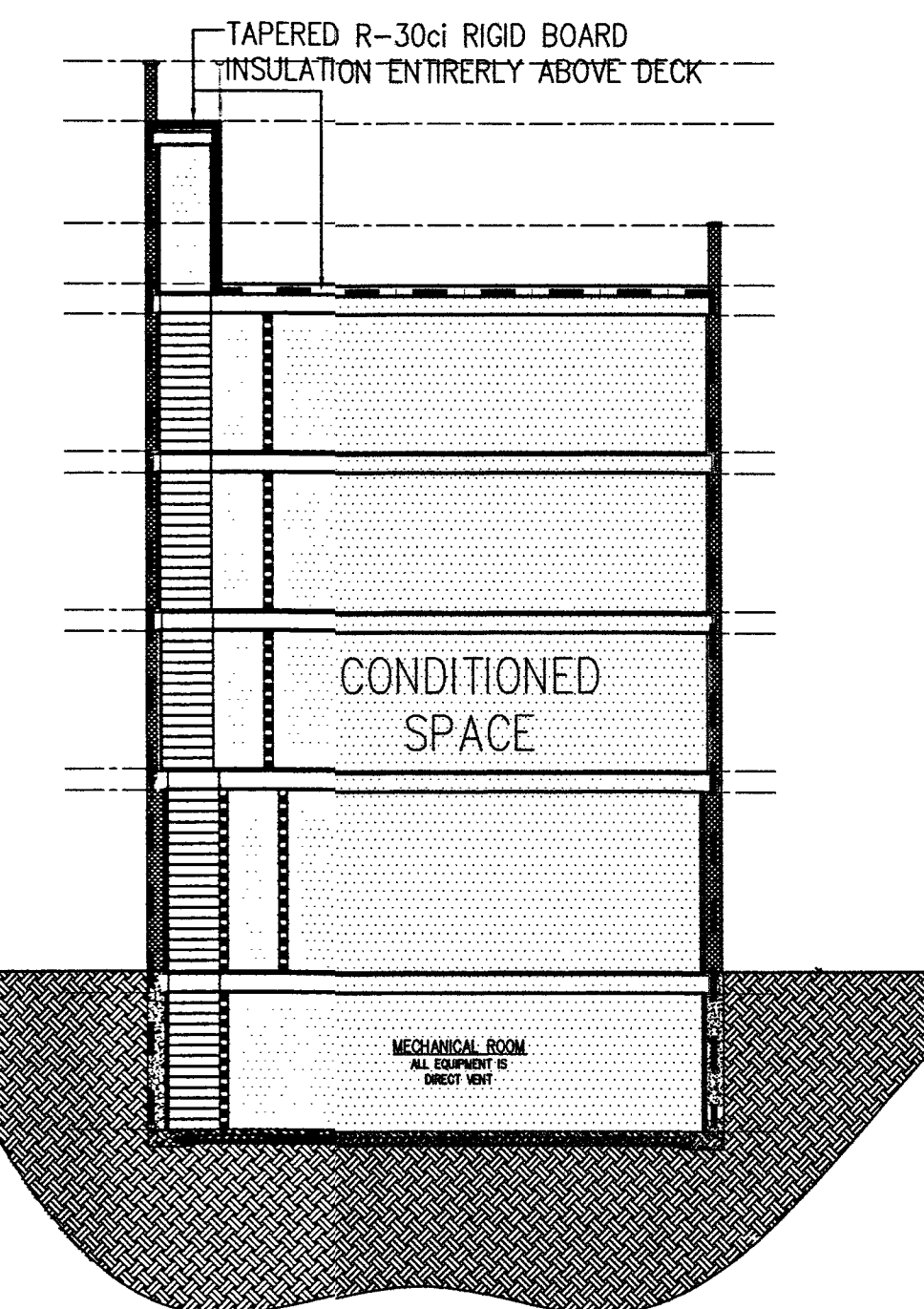
BUILDING ENVELOPE: FENESTRATION MAX. U-FACTOR & SHGC REQUIREMENTS					
TABLE C402.4	FENESTRATION (FIXED)	RETAIL	U=0.38 / SHGC= 0.40	U=0.32 / SHGC=0.25	DOOR SCHEDULE (A-300)
TABLE C402.4	FENESTRATION (OPERABLE)	NEW WINDOWS	U=0.45 / SHGC= 0.40	U=0.30 / SHGC= 0.32	WINDOW SCHEDULE (A-300)
TABLE C402.4	ENTRANCE DOOR	MAIN ENTRY	U=0.77 / SHGC= 0.40	U=0.28 / SHGC= 0.24	DOOR SCHEDULE (A-300)
TABLE C402.4	SKYLIGHTS	N/A	U=0.50 / SHGC= 0.40	N/A	N/A
C402.4.1	MAX. FENESTRATION AREA	WALL TO WINDOW RATIO	MAX. 30% OF ABOVE-GRADE WALL AREA	WINDOWS & DOORS/WALL: 464 SF / 1,860 SF = 25% 298 SF / 1,360 SF = 22%	FENESTRATION DIAGRAM & ELEVATIONS (A-200)
C402.5.1	AIR BARRIERS	PENETRATIONS IN THERMAL BOUNDARY	CONTINUOUS AIR BARRIER SHALL BE SEALED AT JOINTS AND SEAMS. PENETRATIONS SHALL BE CAULKED, GASKETED OR SEALED	AIR BARRIER SHALL BE SEALED AT JOINTS AND SEAMS. PENETRATIONS SHALL BE CAULKED, GASKETED OR SEALED	FENESTRATION DIAGRAM & ELEVATIONS (A-200)
TABLE C402.5.2	AIR LEAKAGE OF FENESTRATION	NEW FENESTRATION (WINDOW & DOORS)	MAX. WINDOW/DOOR ASSEMBLY: 0.30 CFM/SF	WINDOW/DOOR ASSEMBLY: 0.20 CFM/SF	WINDOW SCHEDULE (A-300)

MECHANICAL SYSTEMS					
C403.2	CALCULATION OF HEATING & COOLING LOADS	HEATING AND COOLING EQUIPMENT SHALL NOT EXCEED CALCULATED LOADS	DESIGN LOADS ASSOCIATED WITH HEATING, VENTILATING AND AIR CONDITIONING OF THE BUILDING SHALL BE DETERMINED IN ACCORDANCE WITH ANSI/ASHRAE/ACCA STANDARD 183 OR BY AN APPROVED EQUIVALENT COMPUTATIONAL PROCEDURE USING THE DESIGN PARAMETERS SPECIFIED IN CHAPTER C3	EQUIPMENT SIZING: HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ASHRAE/ACCA 183 OR SIMILAR SECTION OF THE COMMERCIAL CODE OF N.Y.S.	N/A
TABLE C403.2.3(5)	WATER HEATERS	MAKE: A.O SMITH MODEL: GCR-40 *W/ OUTDOOR SETBACK CONTROL *W/ HEAT TRAP	CAPACITY: ≤ 75,000 BTU/h	CAPACITY: 40,000 BTU/h ENERGY FACTOR: 0.62	FLOOR PLANS & RISER DIAGRAMS (A-100, M-100, P-100)
TABLE C403.2.3(5)	GAS FIRED BOILERS	MAKE: WILLIAMSON MODEL: GW105 CSA# ANSI-2223.1 *DUCTS AS PER R403.3	CAPACITY: < 300,000 BTU/hr MIN. EFFICIENCY: 80% AFUE	CAPACITY: 105,000 BTU/hr EFFICIENCY: 83% AFUE	FLOOR PLANS & RISER DIAGRAMS (A-100, M-100, P-100)
C403.2.4	HVAC SYSTEM CONTROLS	PROGRAMMABLE THERMOSTATS	EACH HEATING AND COOLING SYSTEM SHALL BE PROVIDED WITH THERMOSTATIC CONTROLS	PROGRAMMABLE THERMOSTATS PROVIDED FOR EACH ZONE	FLOOR PLANS & RISER DIAGRAMS (A-100, A-101)
C403.2.4.3	SHUT OFF DAMPERS	OUTSIDE AIR INTAKES & EXHAUSTS	OUTDOOR AIR INTAKE AND EXHAUST DAMPERS SHALL BE INSTALLED WITH AUTOMATIC CONTROLS CONFIGURED TO CLOSE WHEN THE SYSTEMS OR SPACES SERVED ARE NOT IN USE OR DURING UNOCCUPIED PERIOD WARM -UP AND SETBACK OPERATION	MOTORIZED DAMPERS SHALL HAVE ABILITY TO OPERATE AT MINIMUM POSITIONS	FLOOR PLANS & RISER DIAGRAMS (A-100, A-101)
C403.2.10 C404.4	PIPING INSULATION	HVAC INSULATION & SEALING	2" INSULATION FOR 1/2"-4" PIPE @ 141F-200F	MIN. 2" INSULATION PROVIDED	RISER DIAGRAMS (P-100, M-100)

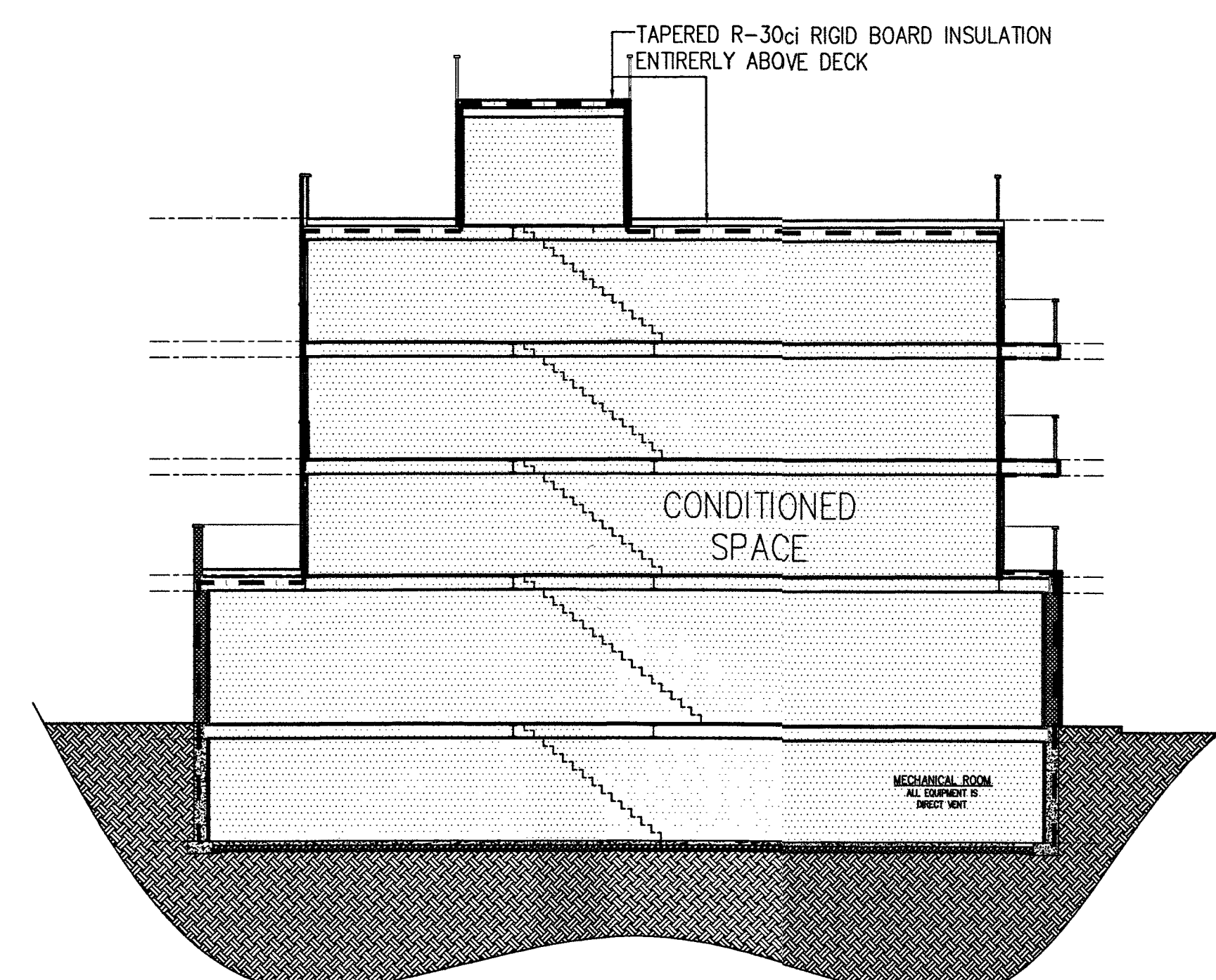
ELECTRICAL POWER & LIGHTING SYSTEMS					
C405.1	DWELLING UNITS WITHIN COMMERCIAL BUILDINGS SHALL NOT BE REQUIRED TO COMPLY WITH SECTIONS C405.2 THROUGH C405.5, PROVIDED THAT THEY COMPLY WITH SECTION R404.1.	NOT LESS THAN 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75 PERCENT			
TABLE C405.2	LIGHTING CONTROLS	FIXTURES IN SERVICE OR COMMON AREAS (NOT WITHIN DWELLING UNITS)	SPACES OTHER THAN DWELLING UNITS SHALL HAVE AUTOMATIC SENSORS OR TIME SWITCH CONTROLS		LIGHTING SCHEDULE (A-400)
TABLE C405.2.5	EXTERIOR LIGHTING CONTROLS	FIXTURES IN BUILDING EXTERIOR	FIXTURES SHALL HAVE AUTOMATIC TIME & DAYLIGHT SENSOR CONTROLS	AUTOMATIC TIME & DAYLIGHT SENSOR CONTROLS TO BE INSTALLED	LIGHTING SCHEDULE (A-400)
TABLE C405.4.2 TABLE C405.4.2(1) (USING COMcheck)	INTERIOR LIGHTING POWER	TOTAL INTERIOR LIGHTING POWER IN RESIDENTIAL BUILDING (NOT WITHIN DWELLING UNITS)	MAX. 0.46 WATTS PER SQ.FT. TOTAL MULTIFAMILY SQ.FT. = 6,226.12 SF MAX. TOTAL WATT ALLOWABLE: 2,864.01 WATTS	RESIDENTIAL PROPOSED WATTAGE = 1,866 WATTS 1,866 W/6,226.12 SF = 0.29 WATTS/FS 0.29 WATTS PER SF < 0.46 WATTS/FS	FLOOR PLANS (A-100-A-102) & LIGHTING SCHEDULE (A-400)
	INTERIOR LIGHTING POWER	TOTAL INTERIOR LIGHTING POWER IN RETAIL BUILDING	MAX. 1.13 WATTS PER SQ.FT. TOTAL MULTIFAMILY SQ.FT. = 1,501.86 SF MAX. TOTAL WATT ALLOWABLE: 1,697.10 WATTS	RESIDENTIAL PROPOSED WATTAGE = 585 WATTS 585 W/1,501.86 SF = 0.39 WATTS/FS 0.39 WATTS PER SF < 1.13 WATTS/FS	FLOOR PLANS (A-100-A-102) & LIGHTING SCHEDULE (A-400)
TABLE C405.5 (USING COMcheck)	EXTERIOR LIGHTING POWER	TOTAL EXTERIOR LIGHTING POWER IN MAIN ENTRY	MAX. 20 WATTS PER LFT. TOTAL DOOR WIDTH = 9 LFT. MAX. TOTAL WATT ALLOWABLE: 180 WATTS	PROPOSED ENTRY WATTAGE = 60 WATTS 60 WATTS/9 LFT = 3.3 WATTS/LFT 3.3 WATTS PER LFT < 20 WATTS/LFT	FLOOR PLANS (A-100-A-102) & LIGHTING SCHEDULE (A-400)
	EXTERIOR LIGHTING POWER	TOTAL EXTERIOR LIGHTING POWER IN REAR, BALCONIES & ROOF TOP	MAX. 20 WATTS PER LFT. TOTAL DOOR WIDTH = 45 LFT. MAX. TOTAL WATT ALLOWABLE: 900 WATTS	PROPOSED ENTRY WATTAGE = 165 WATTS 165 WATTS/45 LFT = 3.3 WATTS/LFT 3.66 WATTS PER LFT < 20 WATTS/LFT	FLOOR PLANS (A-100-A-102) & LIGHTING SCHEDULE (A-400)
TABLE C405.6	ELECTRICAL ENERGY CONSUMPTION	ELECTRIC METERS	EACH DWELLING UNIT LOCATED IN A GROUP R-2 BUILDING SHALL HAVE A SEPARATE ELECTRICAL METER.	EACH DWELLING UNIT PROVIDED SEPARATE ELECTRICAL METER IN METER ROOM @ CELLAR floor	CELLAR FLOOR PLAN (A-100)

NYCECC COMPLIANCE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2016 NEW YORK CITY ENERGY CONSERVATION CODE, USING CHAPTERS 1 & C4.



THERMAL BOUNDARY DIAGRAM B1
SCALE: 3/32"=1'-0"



THERMAL BOUNDARY DIAGRAM B2
SCALE: 1/8"=1'-0"

THE THERMAL ENVELOPE OF BUILDINGS SHALL COMPLY WITH SECTIONS C402.4.1 THROUGH C402.4.8.

NYCECC C403-BUILDING MECHANICAL SYSTEMS

PIPING INSULATION (C403.2.10)

PIPING SERVING AS PART OF A HEATING OR COOLING SYSTEM SHALL BE THERMALLY INSULATED IN ACCORDANCE WITH TABLE C403.2.10

MECHANICAL SYSTEMS COMMISSIONING (C403.2.11)

MECHANICAL SYSTEMS SHALL BE COMMISSIONED AND COMPLETED IN ACCORDANCE WITH SECTION C408.2

AIR SYSTEM DESIGN & CONTROL (C403.2.12)

EACH HVAC SYSTEM HAVING A TOTAL FAN SYSTEM MOTOR NAMEPLATE HORSEPOWER (HP) EXCEEDING 5 HP (3.7 KW) SHALL COMPLY WITH THE PROVISIONS OF SECTIONS C403.2.12.1 THROUGH C403.2.12.3.

AIR SYSTEM DESIGN & CONTROL (C403.2.12)

EACH HVAC SYSTEM HAVING A TOTAL FAN SYSTEM MOTOR NAMEPLATE HORSEPOWER (HP) EXCEEDING 5 HP (3.7 KW) SHALL COMPLY WITH THE PROVISIONS OF SECTIONS C403.2.12.1 THROUGH C403.2.12.3.

ECONOMIZERS (C403.3)

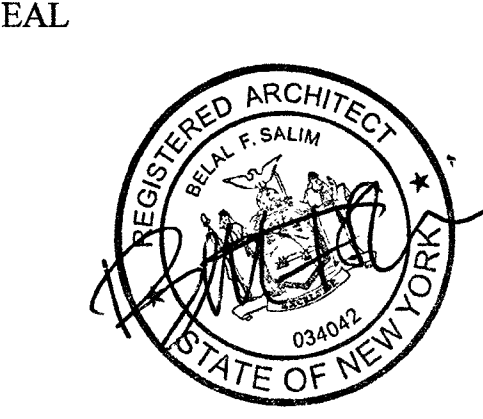
EACH COOLING SYSTEM SHALL INCLUDE EITHER AN AIR OR WATER ECONOMIZER COMPLYING WITH SECTIONS C403.3.1 THROUGH C403.3.4.

HYDRONIC AND MULTIPLE-ZONE HVAC SYSTEMS CONTROLS AND EQUIPMENT (C403.4)

HYDRONIC AND MULTIPLE-ZONE HVAC SYSTEM CONTROLS AND EQUIPMENT SHALL COMPLY WITH THIS SECTIONS C403.4.1 THROUGH C403.4.6.

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Architecture Consulting Expediting

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. CONTRACTOR IS TO VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. USE DIMENSIONS. DRAWINGS ARE NOT TO BE SCALED.



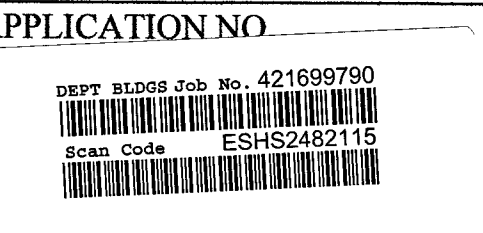
PROJECT LOCATION
129-24 Merrick Blvd
Jamaica NY, 11434

OWNER INFORMATION
129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432

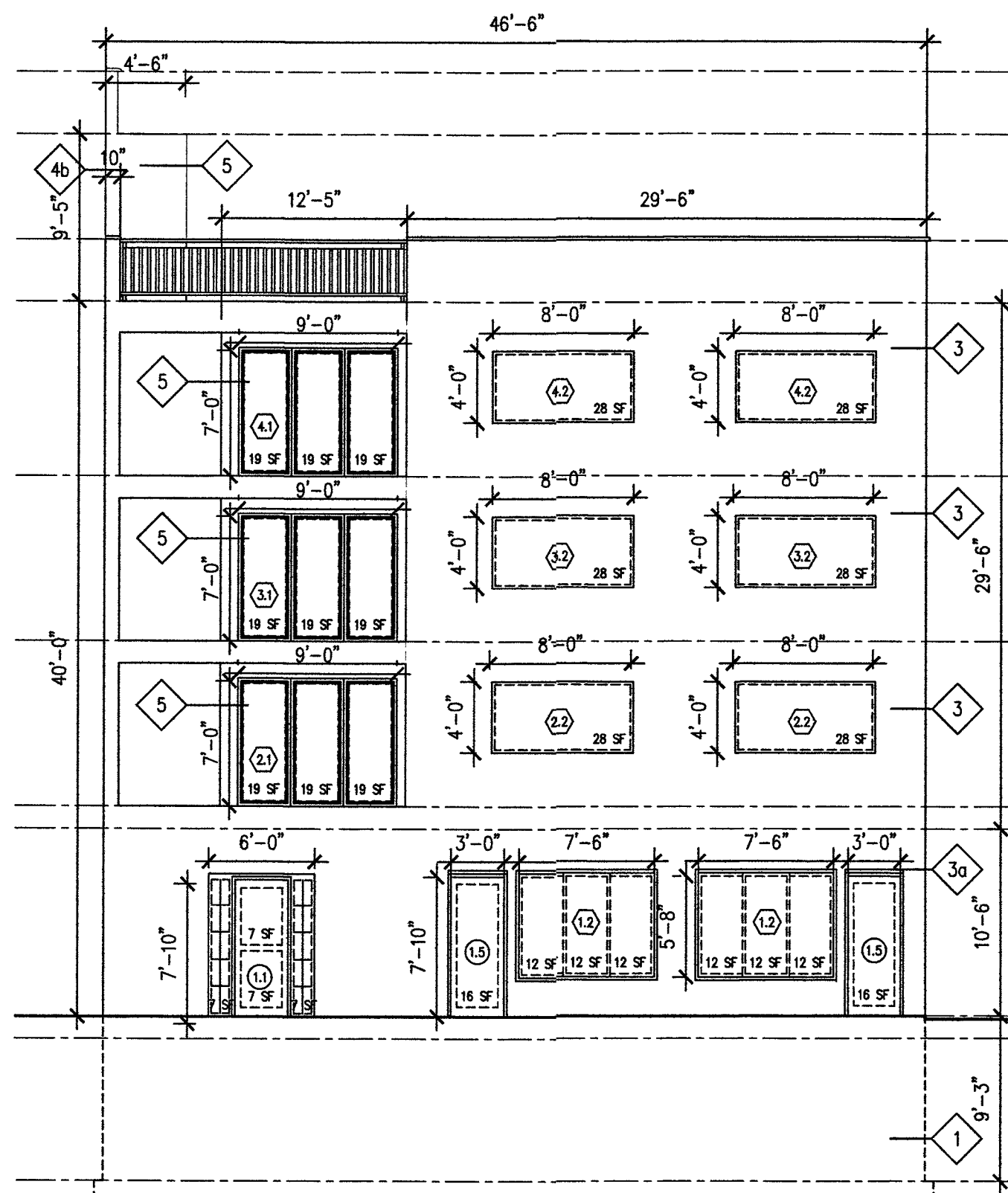
DRAWING TITLE
Energy Analysis, Notes
& Thermal Boundary

DRAWN BY	CHECKED BY	JOB NO.	SCALE	AS SHOWN	DATE
	B. SALIM				10/29/18
NO.	DATE	REVISION			

APPROVAL STAMPS
Devin Phillips
OCT 31 2019
EXAMINEE FOR ZONING, LEGISLATION AND FIRE PREVENTION ONLY, AS PER DIR. 2175

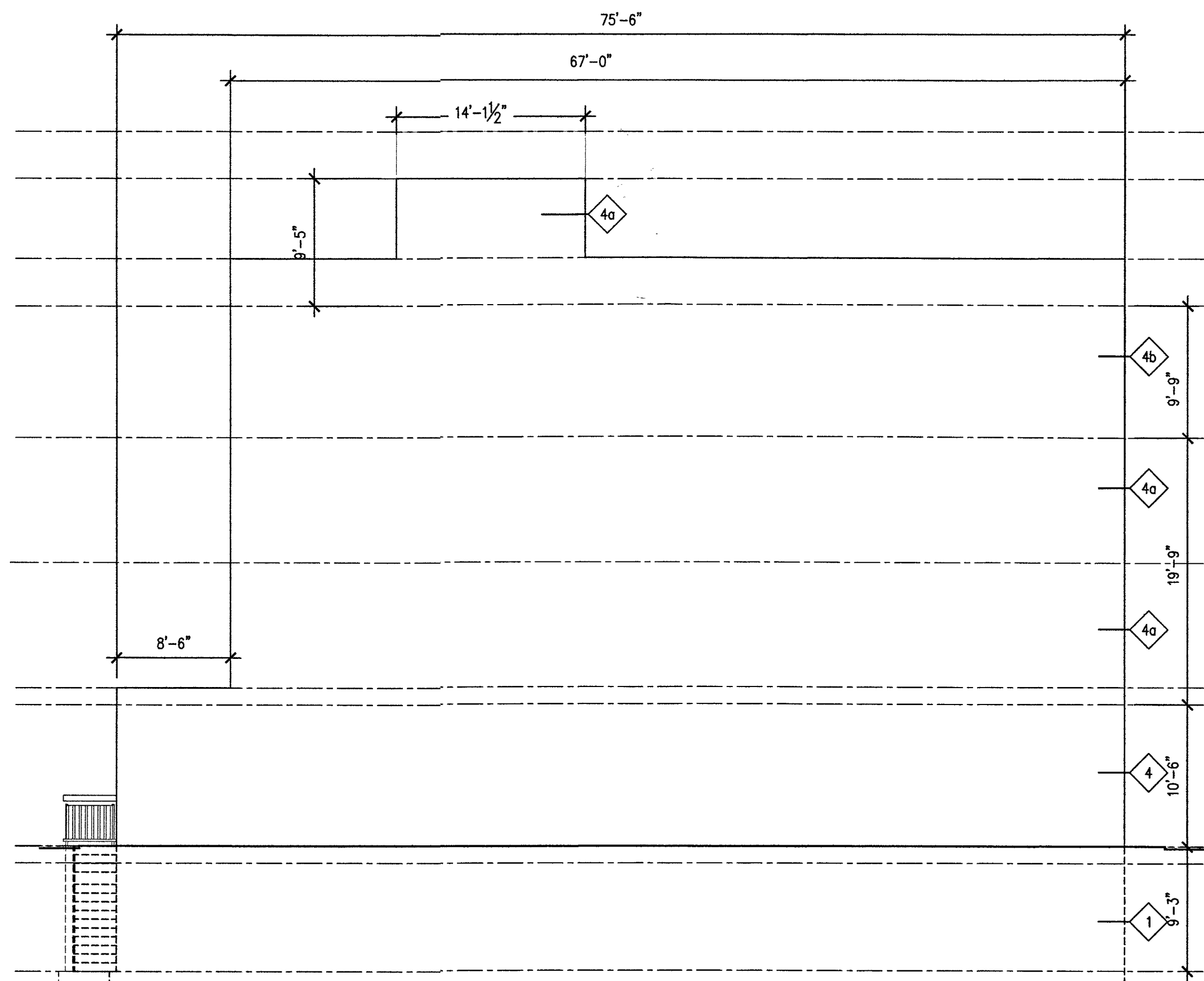


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4 of 25



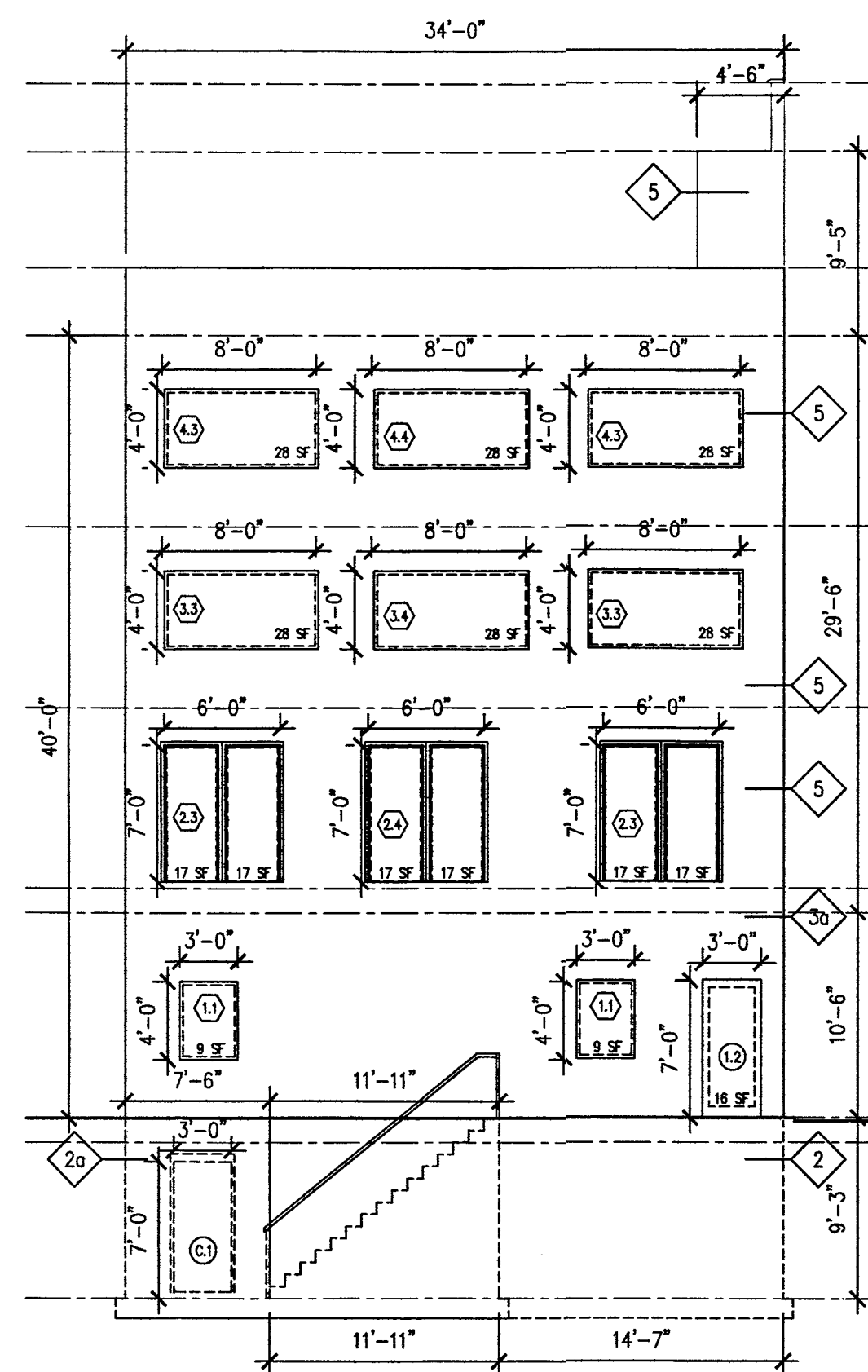
WALL AREA (TYPE #5): (FRAME & STUCCO FINISH) ØBULKHEAD	4.50 x 9.41	=	42.35 SF
WALL AREA (TYPE #3): (BLOCK & STUCCO FINISH) Ø2-4TH FL FRONT	29.25 x 29.50	=	862.87 SF
WINDOW AREA:			
	2.2- (8.00 x 4.00) x 2 =		64.00 SF
	3.2- (8.00 x 4.00) x 2 =		64.00 SF
	4.2- (8.00 x 4.00) x 2 =		64.00 SF
			192.00 SF
WALL AREA (TYPE #5): (FRAME & STUCCO FINISH) Ø2-4TH FL BALCONIES	29.50 x 12.41	=	366.09 SF
WINDOW AREA:			
	2.1- (9.00 x 7.00) x 1 =		63.00 SF
	3.1- (9.00 x 7.00) x 1 =		63.00 SF
	4.1- (9.00 x 7.00) x 1 =		63.00 SF
			381.00 SF
WALL AREA (TYPE #3a): (BLOCK & BRICK FINISH) Ø1ST FL	46.50 x 10.50	=	488.25 SF
WINDOW AREA:			
	1.2- (7.50 x 5.66) x 2 =		84.90 SF
DOORS:			
	1.1- (6.00 x 7.83) x 1 =		46.98 SF
	1.5- (3.00 x 7.83) x 2 =		46.98 SF
			93.96 SF
WALL AREA (TYPE #1): (CONCRETE) ØCELLAR	46.50 x 9.25	=	430.12 SF
WINDOWS & DOORS/WALL:			
	28 SF x 6 =		168 SF
	19 SF x 9 =		171 SF
	7 SF x 3 =		21 SF
	16 SF x 2 =		32 SF
	12 SF x 6 =		72 SF
			464 SF
WALL =	1,860 SF		
	464 SF / 1,860 SF =		25%

FRONT WALL
SCALE: 1/8"=1'-0"



SIDE WALL 1
SCALE: 1/8"=1'-0"

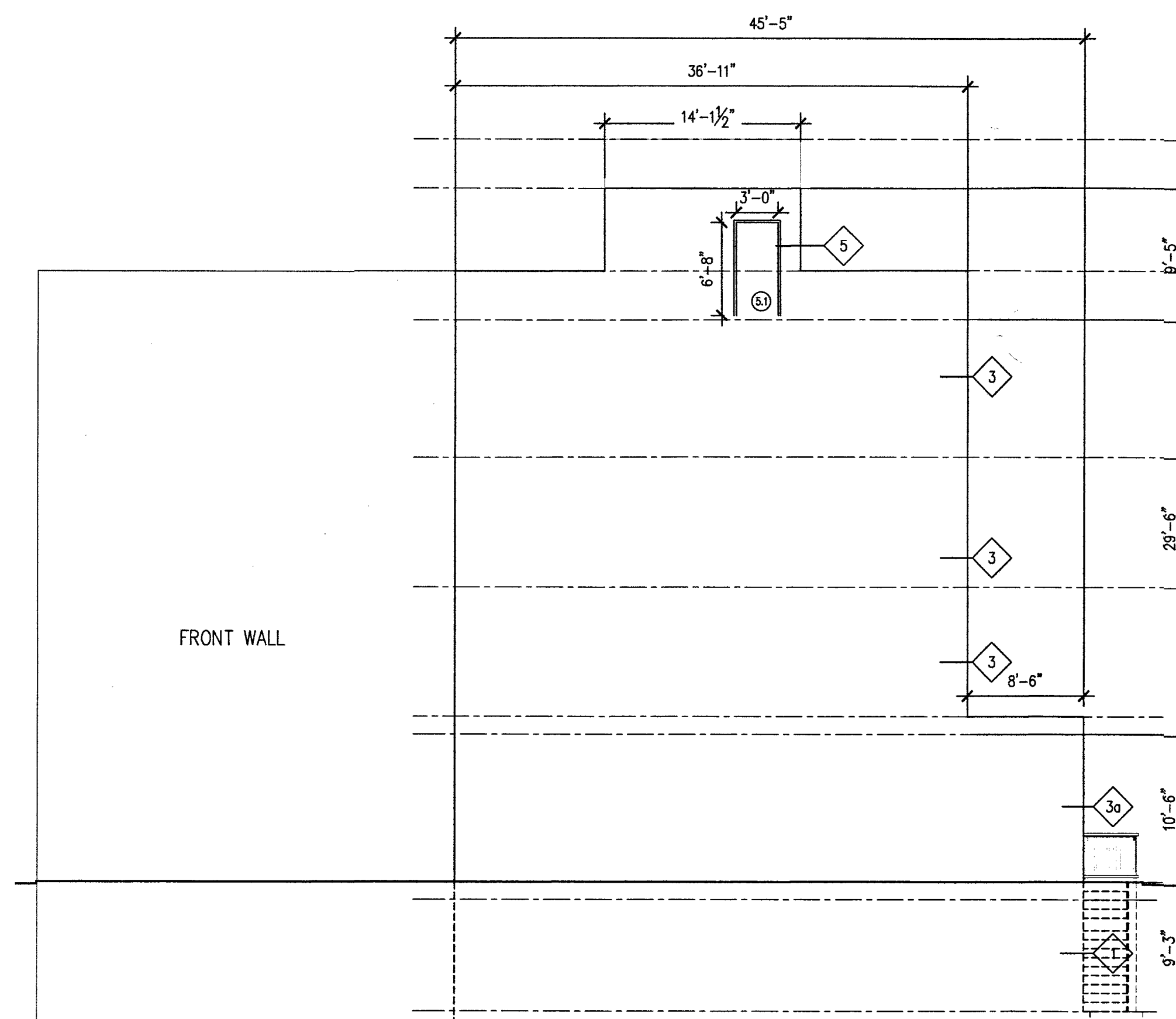
WALL AREA (TYPE #4a): (BLOCK) Ø2-4TH FL SIDE 1	67.00 x 19.75	=	1,323.25 SF
WALL AREA (TYPE #4b): (BLOCK) Ø4TH FL SIDE 1 & BULKHEAD	67.00 x 9.75	=	653.25 SF
	14.12 x 9.75	=	137.67 SF
			790.92 SF
WALL AREA (TYPE #4): (BLOCK) Ø1ST FL SIDE 1	75.50 x 10.50	=	792.75 SF
WALL AREA (TYPE #1): (CONCRETE) ØCELLAR	75.50 x 9.25	=	698.37 SF



REAR WALL
SCALE: 1/8"=1'-0"

WALL AREA (TYPE #5): (FRAME & STUCCO FINISH) ØBULKHEAD	4.50 x 9.41	=	42.35 SF
WALL AREA (TYPE #5): (FRAME & STUCCO FINISH) Ø2-4TH FL REAR	34.00 x 29.50	=	1,003.00 SF
DOORS:			
	2.3- (6.00 x 7.00) x 2 =		84.00 SF
	2.4- (6.00 x 7.00) x 1 =		42.00 SF
			126.00 SF
WINDOW AREA:			
	3.3- (8.00 x 4.00) x 2 =		64.00 SF
	3.4- (8.00 x 4.00) x 1 =		32.00 SF
	4.3- (8.00 x 4.00) x 2 =		64.00 SF
	4.4- (8.00 x 4.00) x 1 =		32.00 SF
			192.00 SF
WALL AREA (TYPE #3a): (BLOCK & STUCCO FINISH) Ø1ST FL	33.83 x 10.50	=	355.21 SF
WINDOW AREA:			
	1.1- (3.00 x 4.00) x 2 =		24.00 SF
DOORS:			
	1.2- (3.00 x 7.00) x 1 =		21.00 SF
WALL AREA (TYPE #2a): (CONCRETE) ØCELLAR TOTAL	34.00 x 9.25	=	314.50 SF
(ABOVE GRADE WALL)			
	(9.25 x 7.50) + [(9.25 x 11.91)/2] =		124.50 SF
DOORS:			
	C.1- (3.00 x 7.00) x 1 =		21.00 SF
WALL AREA (TYPE #2): (CONCRETE) ØCELLAR			
	(9.25 x 14.58) + [(9.25 x 11.91)/2] =		190.00 SF
WINDOWS & DOORS/WALL:			
	28 SF x 6 =		168 SF
	16 SF x 6 =		96 SF
	9 SF x 2 =		18 SF
	16 SF x 1 =		16 SF
			298 SF
WALL =	1,860 SF		
	298 SF / 1,360 SF =		22%

REAR WALL
SCALE: 1/8"=1'-0"

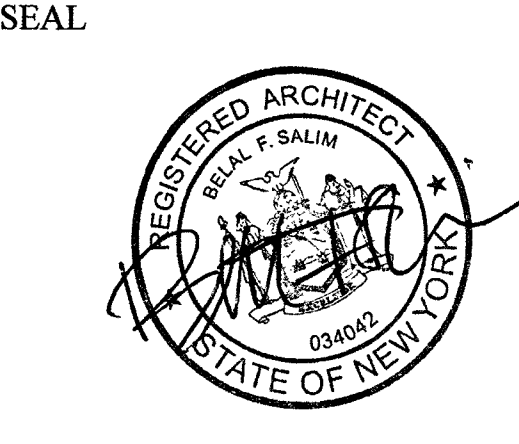


SIDE WALL 2
SCALE: 1/8"=1'-0"

WALL AREA (TYPE #5): (FRAME & STUCCO FINISH) ØBULKHEAD	14.12 x 9.75	=	137.67 SF
DOORS:			
	5.1- (3.00 x 6.66) x 1 =		19.98 SF
WALL AREA (TYPE #3): (BLOCK & STUCCO FINISH) Ø2-4TH FL SIDE 2	36.91 x 29.50	=	1,088.84 SF
WALL AREA (TYPE #3a): (BLOCK & STUCCO FINISH) Ø1ST FL SIDE 2	45.41 x 10.50	=	476.81 SF
WALL AREA (TYPE #1): (CONCRETE) ØCELLAR	9.25 x 45.41	=	420.04 SF

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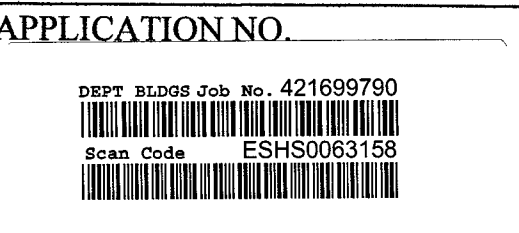
PROJECT LOCATION
**129-24 Merrick Blvd
Jamaica NY, 11434**

OWNER INFORMATION
**129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432**

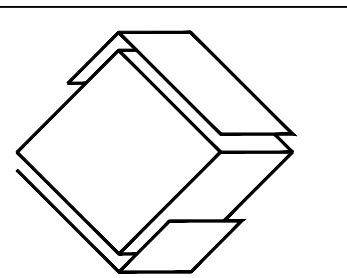
DRAWING TITLE
Energy diagrams

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	B. SALIM				10/29/18
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APPROVAL STAMPS
Devin Phillips
OCT 31 2018
EXAMINED FOR ZONING EGRESS AND FIRE PREVENTION ONLY, AS PER N.Y.S. 215



DRAWING NO.
EN-102.00
6 of 25



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SEAL



PROJECT LOCATION

129-24 Merrick Blvd
 Jamaica NY, 11434

OWNER INFORMATION

129-24 Merrick Blvd LLC
 77-25 164th St
 Queens NY 11432

DRAWING TITLE

Cellar & 1st Floor Plans

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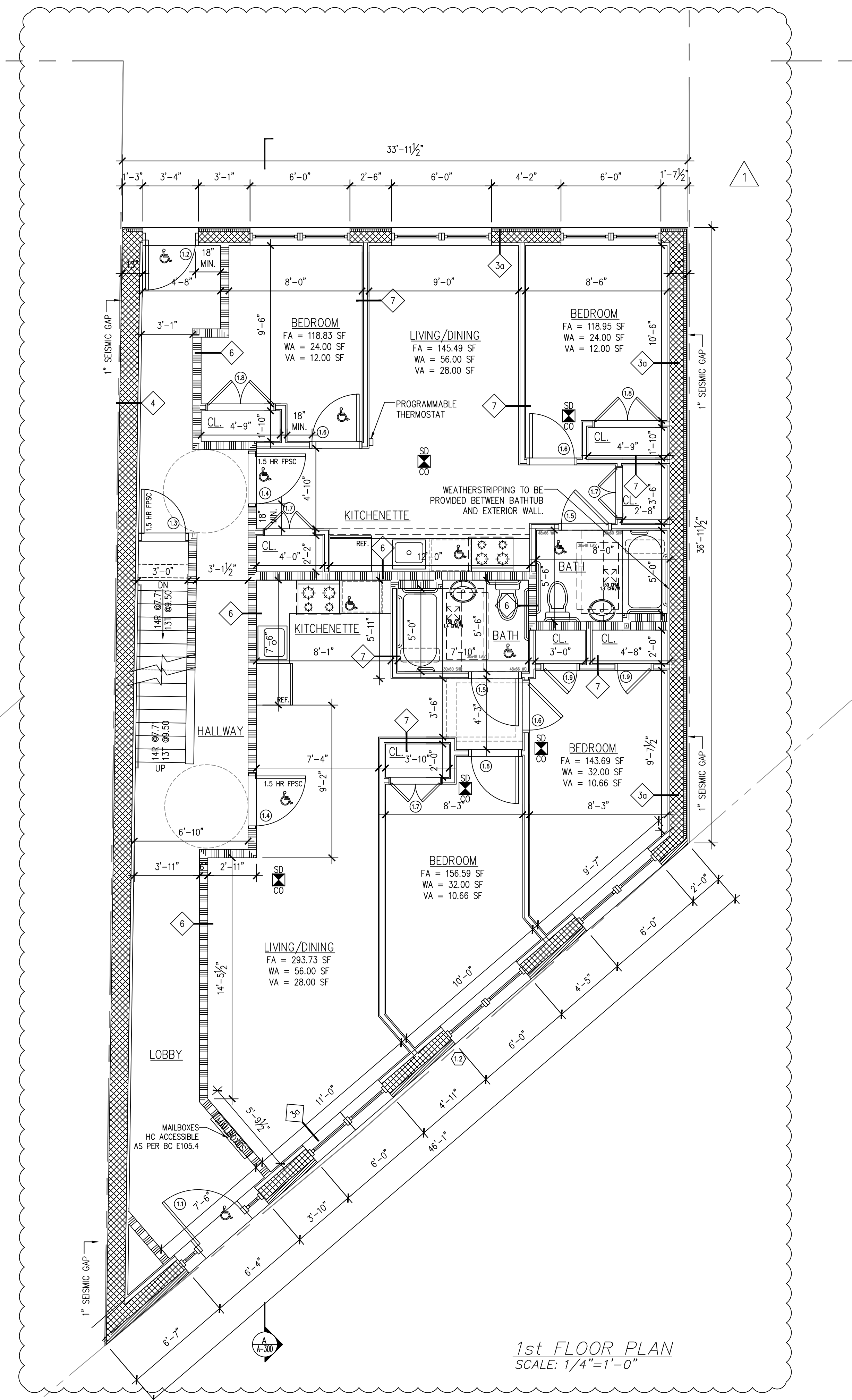
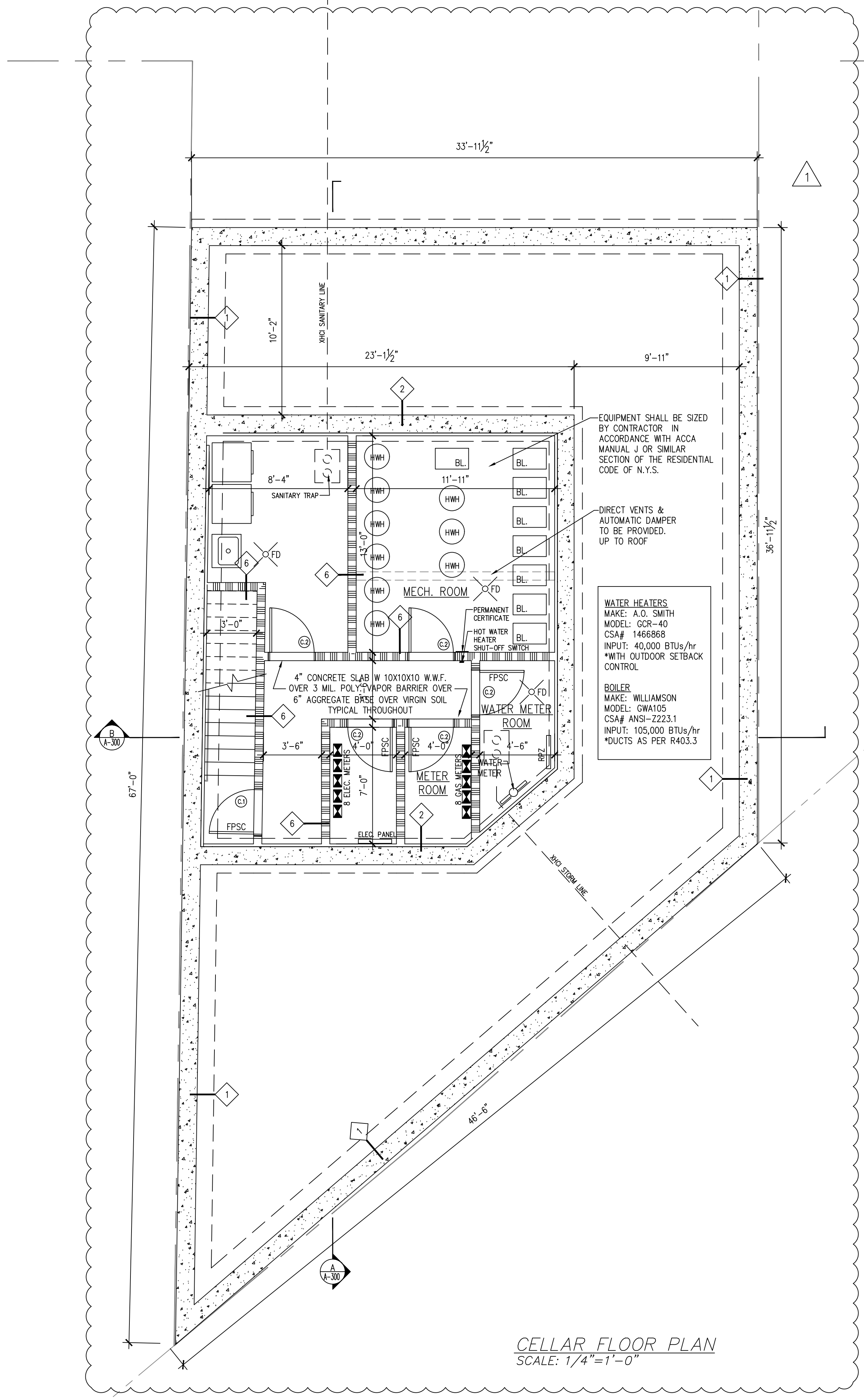
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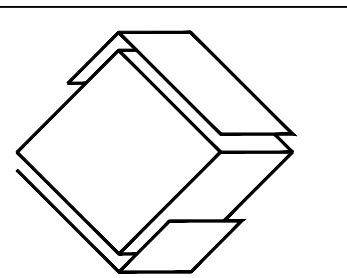


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PROJECT LOCATION

129-24 Merrick Blvd
Jamaica NY, 11434

OWNER INFORMATION

129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432

DRAWING TITLE

2nd-4th Floor
Plans

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	B. SALIM				10/29/18
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1	01/18/21	REVISIONS			

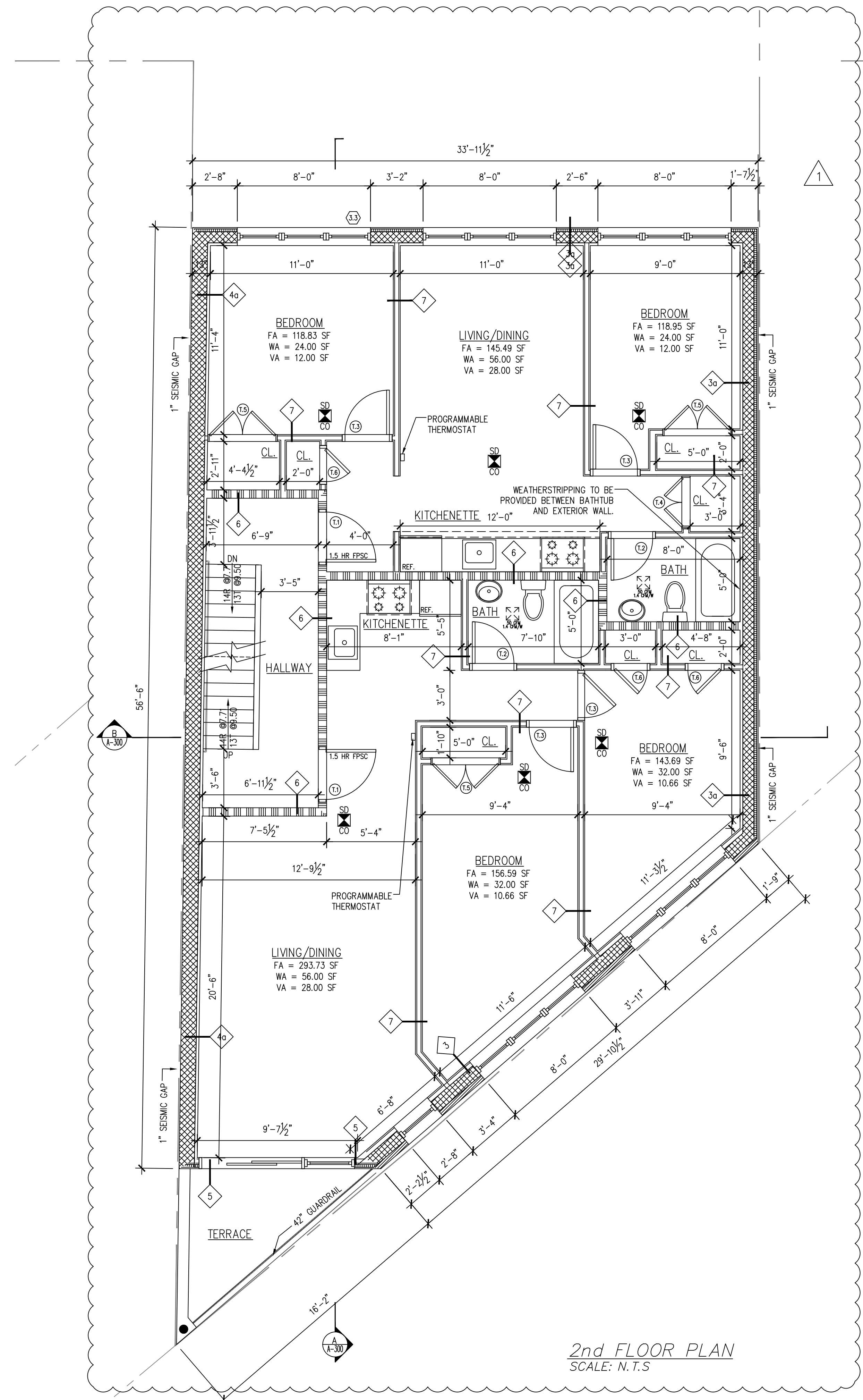
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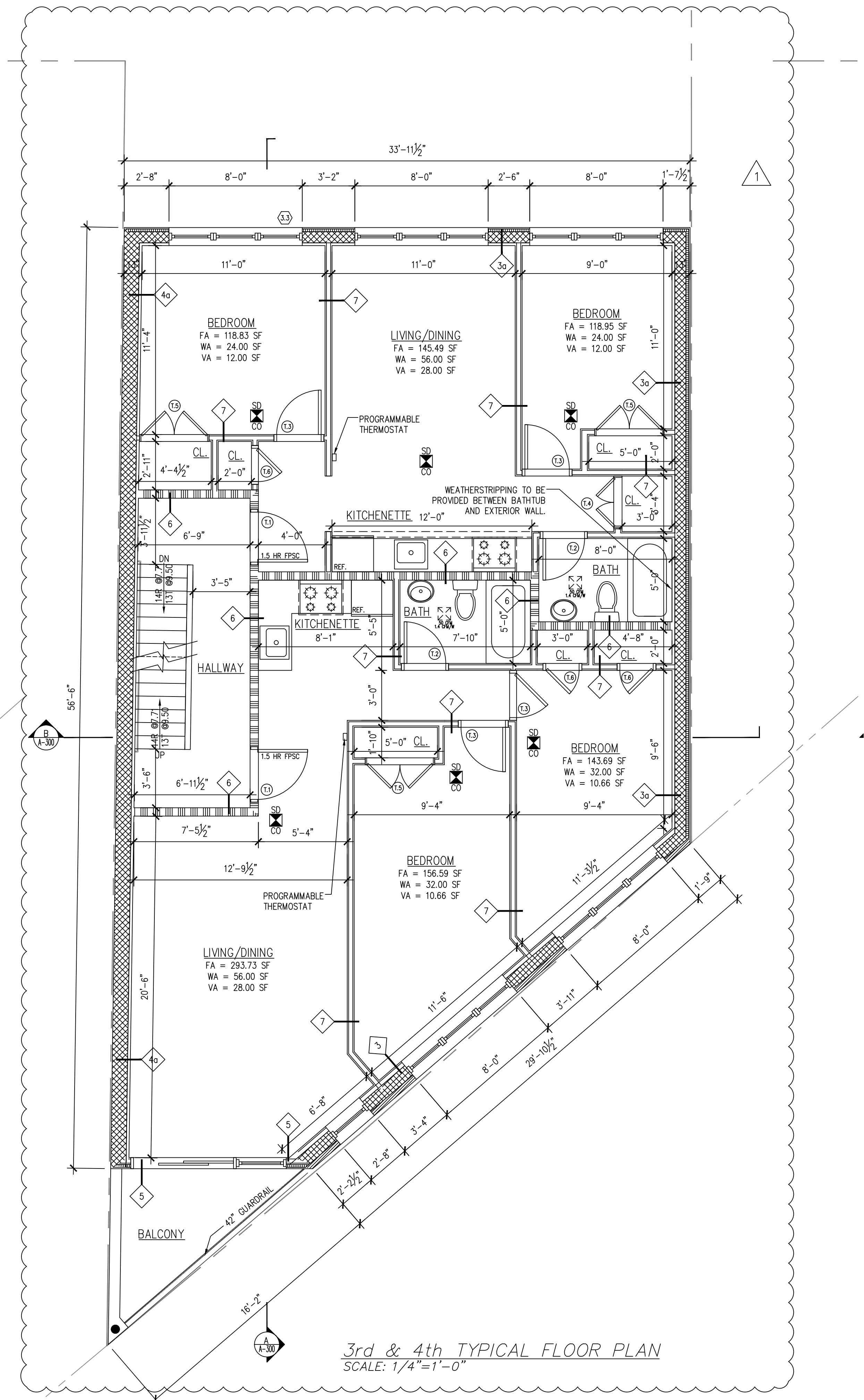
APPLICATION NO.

DRAWING NO.

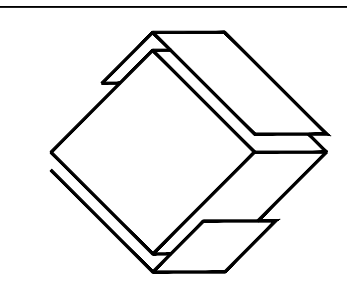
A-101.01



2nd FLOOR PLAN
SCALE: N.T.S



3rd & 4th TYPICAL FLOOR PLAN
SCALE: 1/4"=1'-0"



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SEAL



PROJECT LOCATION

129-24 Merrick Blvd
Jamaica NY, 11434

OWNER INFORMATION

129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432

DRAWING TITLE

Front & Rear Elevations

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	B. SALIM				10/29/18
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1	01/18/21	REVISIONS			



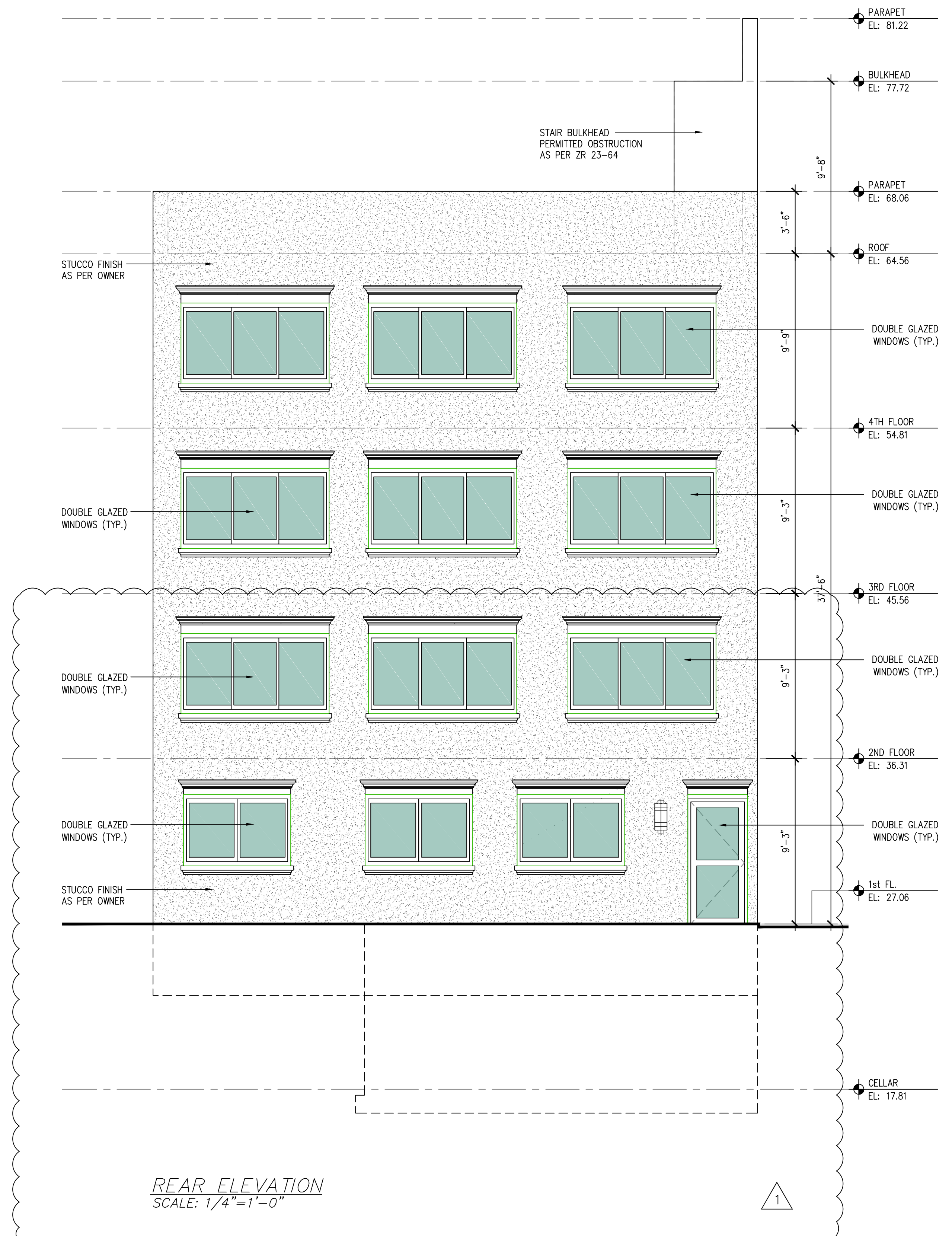
APPLICATION NO.

DRAWING NO.

A-200.01



FRONT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

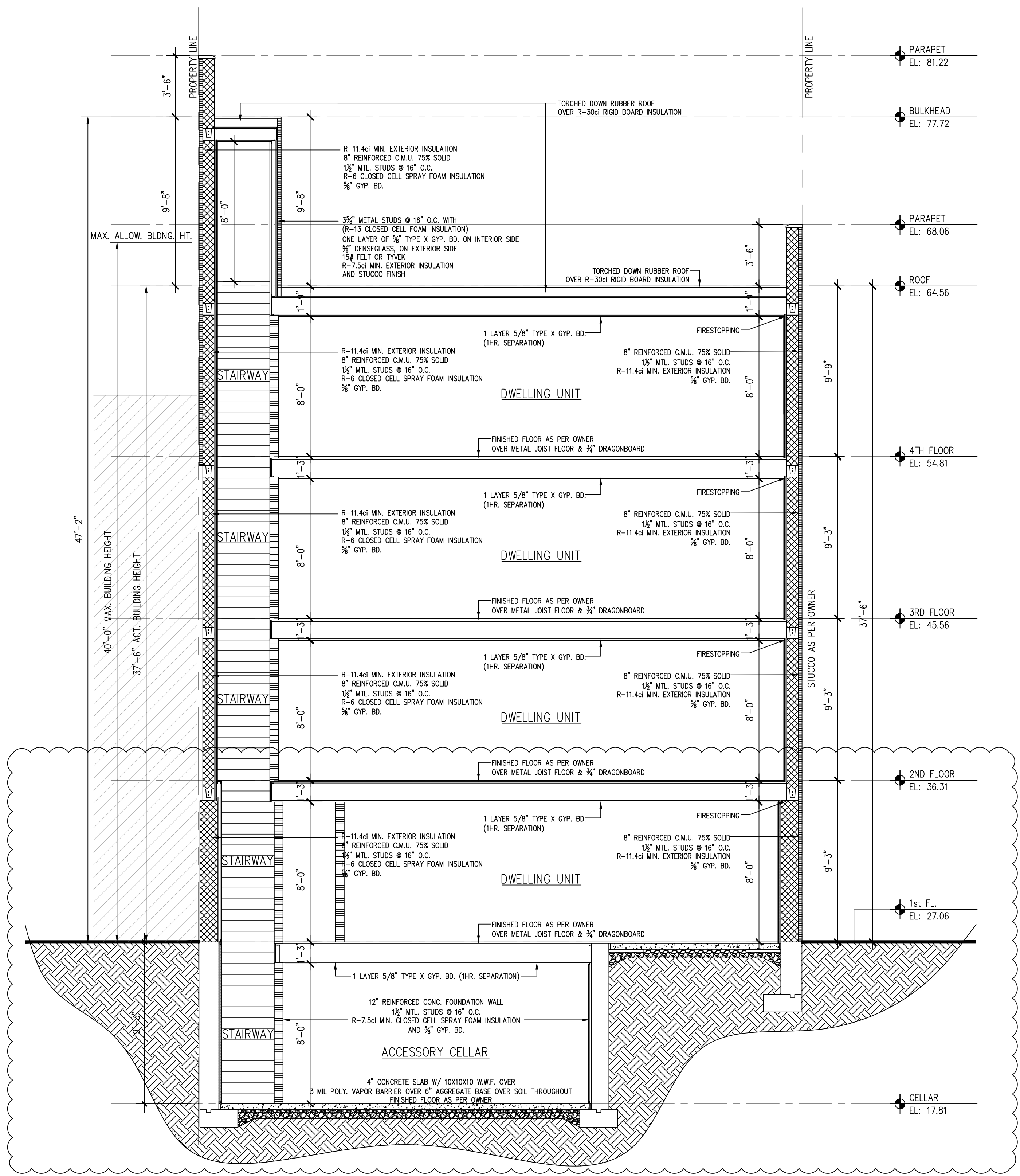
DOOR SCHEDULE

NO.	LOCATION	SIZE	MATERIAL	U-FACTOR	SGHC VALUE	REMARKS
61	OUTSIDE EXIT	3'-0" x 7'-0"	ALUMN/GLASS	0.30	0.32	AIR LEAKAGE < 0.3 CFM/SF OWNER TO SELECT MANUFACTURER
62	STAIRS	3'-0" x 6'-8"	HOLLOW METAL	NOT APPLICABLE	NOT APPLICABLE	NEW FPSC 1 1/2 HR
63	BOILER	3'-0" x 6'-8"	HOLLOW METAL	NOT APPLICABLE	NOT APPLICABLE	NEW FPSC 1 1/2 HR
64	METER RM	3'-0" x 6'-8"	HOLLOW METAL	NOT APPLICABLE	NOT APPLICABLE	NEW FPSC 1 1/2 HR
65	WATER METER RM	3'-0" x 6'-8"	HOLLOW METAL	NOT APPLICABLE	NOT APPLICABLE	NEW FPSC 1 1/2 HR
66	LOBBY ENTRY	6'-0" x 7'-10"	ALUMN/GLASS	0.28	0.24	AIR LEAKAGE < 0.3 CFM/SF OWNER TO SELECT MANUFACTURER
67	LOBBY EXIT	3'-0" x 7'-0"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
68	BATHROOM	3'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
69	LIFT	3'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
70	STORE ENTRY	3'-0" x 7'-10"	ALUMN/GLASS	0.28	0.24	AIR LEAKAGE < 0.3 CFM/SF OWNER TO SELECT MANUFACTURER
71	APARTMENT ENTRY	3'-0" x 6'-8"	HOLLOW METAL	NOT APPLICABLE	NOT APPLICABLE	NEW FPSC 1 1/2 HR
72	BEDROOMS	3'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
73	LIFT	3'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
74	BEDROOM CLOSET	4'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
75	BATHROOM	3'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
76	BEDROOM CLOSET	2'-4" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
77	CLOSET	3'-6" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
78	CLOSET	4'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
79	CLOSET	2'-4" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
80	APARTMENT ENTRY	3'-0" x 6'-8"	HOLLOW METAL	NOT APPLICABLE	NOT APPLICABLE	NEW FPSC 1 1/2 HR
81	BEDROOMS	3'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
82	CLOSET	3'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
83	BEDROOM CLOSET	4'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
84	BATHROOM	3'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
85	BEDROOM CLOSET	2'-4" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
86	CLOSET	3'-6" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
87	CLOSET	4'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
88	CLOSET	2'-4" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
89	APARTMENT ENTRY	3'-0" x 6'-8"	HOLLOW METAL	NOT APPLICABLE	NOT APPLICABLE	NEW FPSC 1 1/2 HR
90	BEDROOMS	3'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
91	CLOSET	3'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
92	BEDROOM CLOSET	4'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
93	BATHROOM	3'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
94	BEDROOM CLOSET	2'-4" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
95	CLOSET	3'-6" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
96	CLOSET	4'-0" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER
97	CLOSET	2'-4" x 6'-8"	WOOD	NOT APPLICABLE	NOT APPLICABLE	OWNER TO SELECT MANUFACTURER

WINDOW SCHEDULE

NO.	LOCATION	SIZE	MATERIAL	EXT. FINISH	U-FACTOR	SGHC VALUE	GLASS	REMARKS
10	LOBBY	3'-0" x 4'-0"	WOOD	VNYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
12	RETAIL	7'-6" x 7'-10"	METAL FRAME	VNYL	0.32	0.25	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
21	TERRACE	9'-0" x 7'-0"	WOOD	VNYL	0.31	0.25	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
22	BEDROOM	8'-0" x 4'-0"	WOOD	VNYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
23	BEDROOM	6'-0" x 7'-0"	WOOD	VNYL	0.31	0.25	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
24	LIVING/DINING	6'-0" x 7'-0"	WOOD	VNYL	0.31	0.25	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
31	TERRACE	9'-0" x 7'-0"	WOOD	VNYL	0.31	0.25	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
32	BEDROOM	8'-0" x 4'-0"	WOOD	VNYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
33	BEDROOM	8'-0" x 4'-0"	WOOD	VNYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
34	LIVING/DINING	8'-0" x 4'-0"	WOOD	VNYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
41	TERRACE	7'-0" x 9'-0"	WOOD	VNYL	0.31	0.25	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
42	BEDROOM	3'-0" x 4'-0"	WOOD	VNYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
43	BEDROOM	8'-0" x 4'-0"	WOOD	VNYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER
44	LIVING/DINING	8'-0" x 4'-0"	WOOD	VNYL	0.30	0.32	INSULATED DUAL-PANE	AIR LEAKAGE < 0.2 CFM/SF OWNER TO SELECT MANUFACTURER

FENESTRATION NOTE:
 AS PER NYCECC 402.4.4
 WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT (1.5 L/S/M2), AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT (2.6 L/S/M2), WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 101/1.5.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.



BUILDING SECTION B
 SCALE: 1/4"=1'-0"

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PROJECT LOCATION
 129-24 Merrick Blvd
 Jamaica NY, 11434

OWNER INFORMATION
 129-24 Merrick Blvd LLC
 77-25 164th St
 Queens NY 11432

DRAWING TITLE
 Section B & Schedules

DRAWN BY	CHECKED BY	JOB NO.	SCALE	AS SHOWN	DATE
	B. SALIM				10/29/18

NO.	DATE	REVISION
1	01/18/21	REVISIONS

APPROVAL STAMPS
 Devin K. Phillips
 APPROVED
 Date: 02/17/2021

APPLICATION NO.

DRAWING NO.
A-301.01

LIGHTING SCHEDULE

NO.	LOCATION	WATTS	# FIXTURES	COMMENTS
1	MAIN ENTRY	15 WATTS	4 (105 WATTS)	20W PER LINEAR FOOT OF DOOR WIDTH ALLOWANCE
2	OTHER EXTERIOR (BALCONIES & ROOF TERRACE)	15 WATTS	11 (225 WATTS)	20W PER LINEAR FOOT OF DOOR WIDTH ALLOWANCE
3	MEANS OF EGRESS	23 WATTS	21 (483 WATTS)	CONTINUOUSLY LIGHTED, C405.2.2
4	COMMON/SERVICE AREAS	23 WATTS	46 (1,058 WATTS)	
5	LOBBY (OTHER THAN EGRESS)	25 WATTS	13 (325 WATTS)	
6	DWELLING UNITS	13 WATTS	117 (1,521 WATTS)	
7	COMMERCIAL	13 WATTS	45 (585 WATTS)	

LIGHTING CONTROLS NARRATIVE

TYPE	LOCATION	TYPE OF DEVICE	INTENT OF CONTROL
F	MEANS OF EGRESS	MANUAL CONTROL	MANUAL CONTROL NOT ACCESSIBLE TO PUBLIC (24HR CONTINUALLY ON)
D	LOBBY (NON EGRESS) & BUILDING EXTERIOR	PHOTO SENSOR / TIME SWITCH	AUTOMATICALLY TURNS OFF THE POWER WHEN DAYLIGHT IS AVAILABLE OR WHEN TIMER IS SCHEDULED FOR (CONTROLS AS PER C405.2.2 & C405.2.3)
A	SERVICE AREAS	OCCUPANCY SENSOR	AUTOMATICALLY TURNS ON THE POWER WHEN MOTION IS DETECTED & SHUTS OFF AFTER 20 MINS OF ALL OCCUPANTS LEAVING THE SPACE (CONTROLS AS PER C405.2.1)
M	WITHIN DWELLING UNITS/COMMERCIAL	MANUAL CONTROL	MANUAL ON/OFF (DIMMER OPTIONAL)

LIGHTING NARRATIVE:
 ALL LIGHTING SYSTEMS SHALL COMPLY WITH C405.
 LIGHTING SYSTEMS SHALL BE PROVIDED WITH CONTROLS AS SPECIFIED IN SECTIONS C405.2.1, C405.2.2, C405.2.3 AND C405.2.4
 LIGHTING FIXTURES & LOCATION INDICATED ON REFLECTED CEILING PLANS AND LIGHTING SCHEDULE.

PROPOSED BUILDING IS 100% RESIDENTIAL DWELLING UNITS AND SHALL NOT BE REQUIRED TO COMPLY WITH SECTIONS C405.2 THROUGH C405.5, PROVIDED THAT THEY COMPLY WITH SECTION R404.1

R404.1 LIGHTING EQUIPMENT— NOT LESS THAN 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

CERTIFICATION THAT INSTALLED LIGHTING CONTROLS MEET REQUIREMENTS OF NYCECC C405 SHALL BE PROVIDED TO BUILDING OWNER WITHIN 90 DAYS FROM RECEIVING CERTIFICATE OF OCCUPANCY

INTERIOR LIGHTING POWER ALLOWANCE

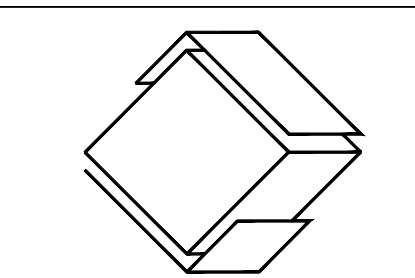
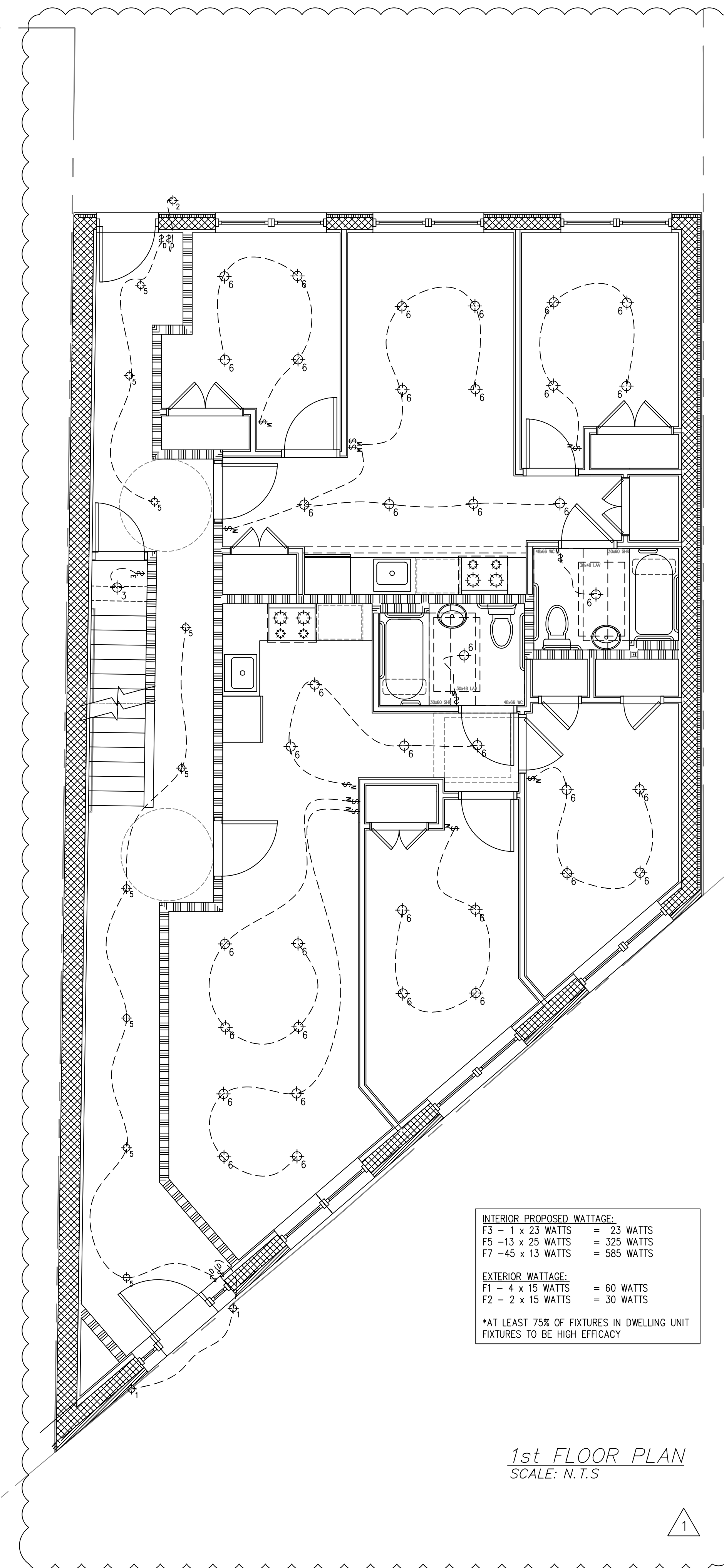
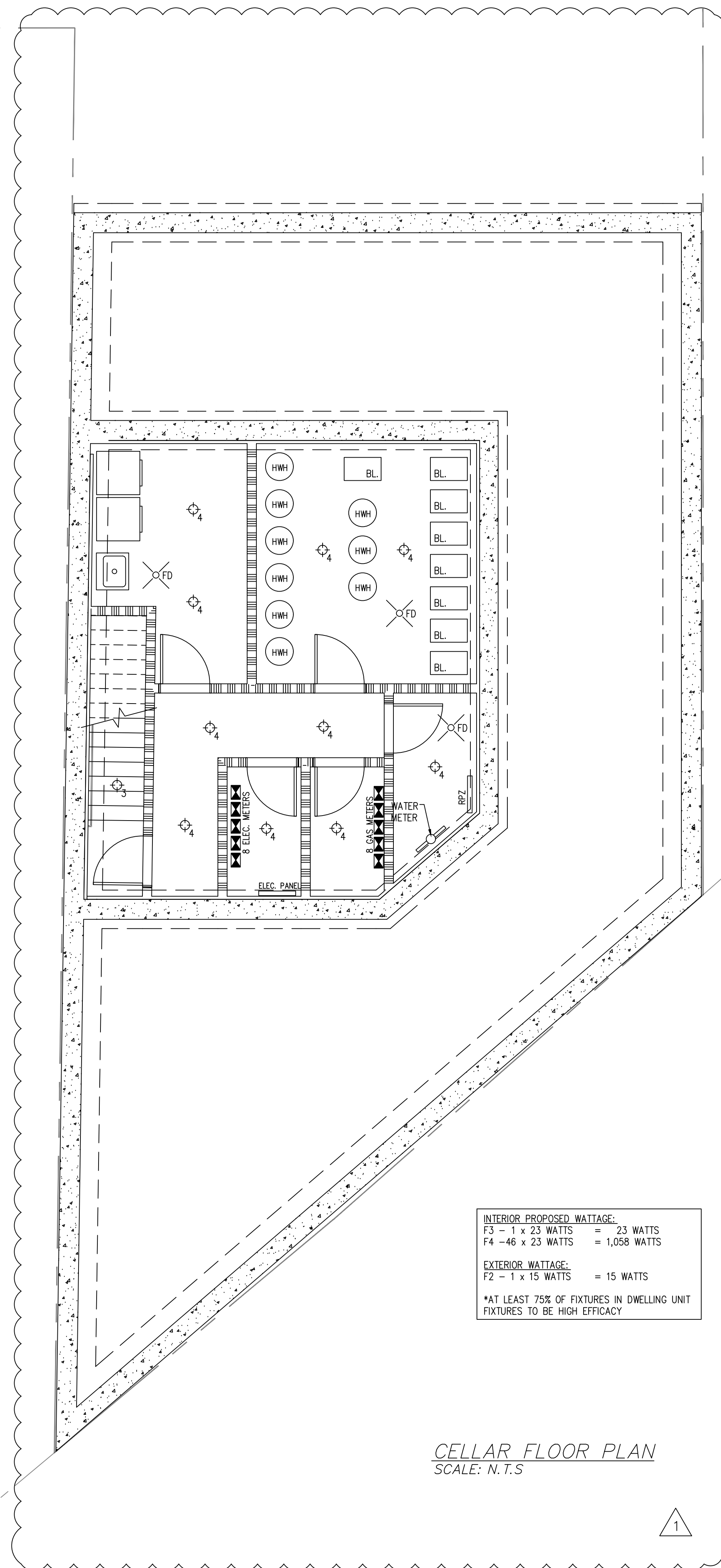
TABLE C405.4.2(1) BUILDING AREA METHOD & REDUCED LIGHTING POWER EFFICIENCY C406.3

BUILDING AREA TYPE	FLOOR AREA	LPD (WTS/SF)	ALLOWABLE WATTS	PROPOSED WATTS
MULTIFAMILY	6,226.12 SF	MAX. 0.46 WATTS/SQ.FT. (90%)	6,226.12 x 0.46 = 2,864.01 WATTS	1,866 WATTS
RETAIL	1,501.86 SF	MAX. 1.13 WATTS/SQ.FT. (90%)	1,501.86 x 1.13 = 1,697.10 WATTS	585 WATTS

EXTERIOR LIGHTING POWER ALLOWANCE

TABLE C405.5.2(2) LIGHTING ZONE: 2

BUILDING AREA TYPE	LINEAR FEET	LPD (WTS/LF)	ALLOWABLE WATTS	PROPOSED WATTS
MAIN ENTRY (F1)	9.0 LF	MAX. 20 WATTS/LF OF WIDTH	9.0 x 20 = 180 WATTS	60 WATTS
REAR, BALCONIES & ROOF TOP (F2)	45.0 LF	MAX. 20 WATTS/LF OF WIDTH	45.0 x 20 = 900 WATTS	165 WATTS
TOTAL	54.0 LF	MAX. 20 WATTS/LF OF WIDTH	1,080 WATTS	225 WATTS



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SEAL



PROJECT LOCATION

129-24 Merrick Blvd
 Jamaica NY, 11434

OWNER INFORMATION

129-24 Merrick Blvd LLC
 77-25 164th St
 Queens NY 11432

DRAWING TITLE

Cellar and 1st floor
 lighting plan

DRAWN BY	CHECKED BY	JOB NO.	SCALE	AS SHOWN	DATE
	B. SALIM				10/29/18

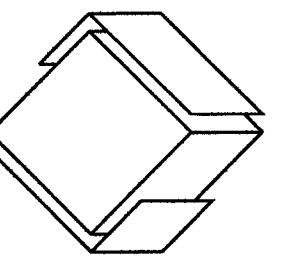
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APPLICATION NO.

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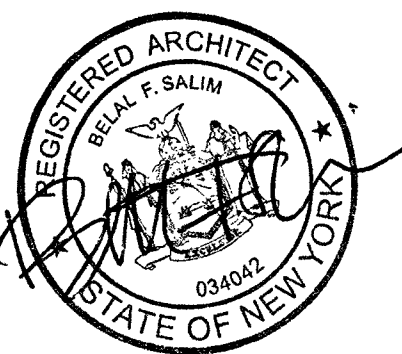
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SEAL



PROJECT LOCATION

129-24 Merrick Blvd
Jamaica NY, 11434

OWNER INFORMATION

129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432

DRAWING TITLE

2nd-4th floor &
Bulkhead lighting plan

DRAWN BY	CHECKED BY	JOB NO.	SCALE	AS SHOWN	DATE
	B. SALIM				10/29/18

NO.	DATE	REVISION

APPROVAL SIGNATURES
Devin Phillips

OCT 31 2018

EXAMINED FOR ZONING EGRESS AND
FIRE PREVENTION ONLY, AS PER D.R. 205

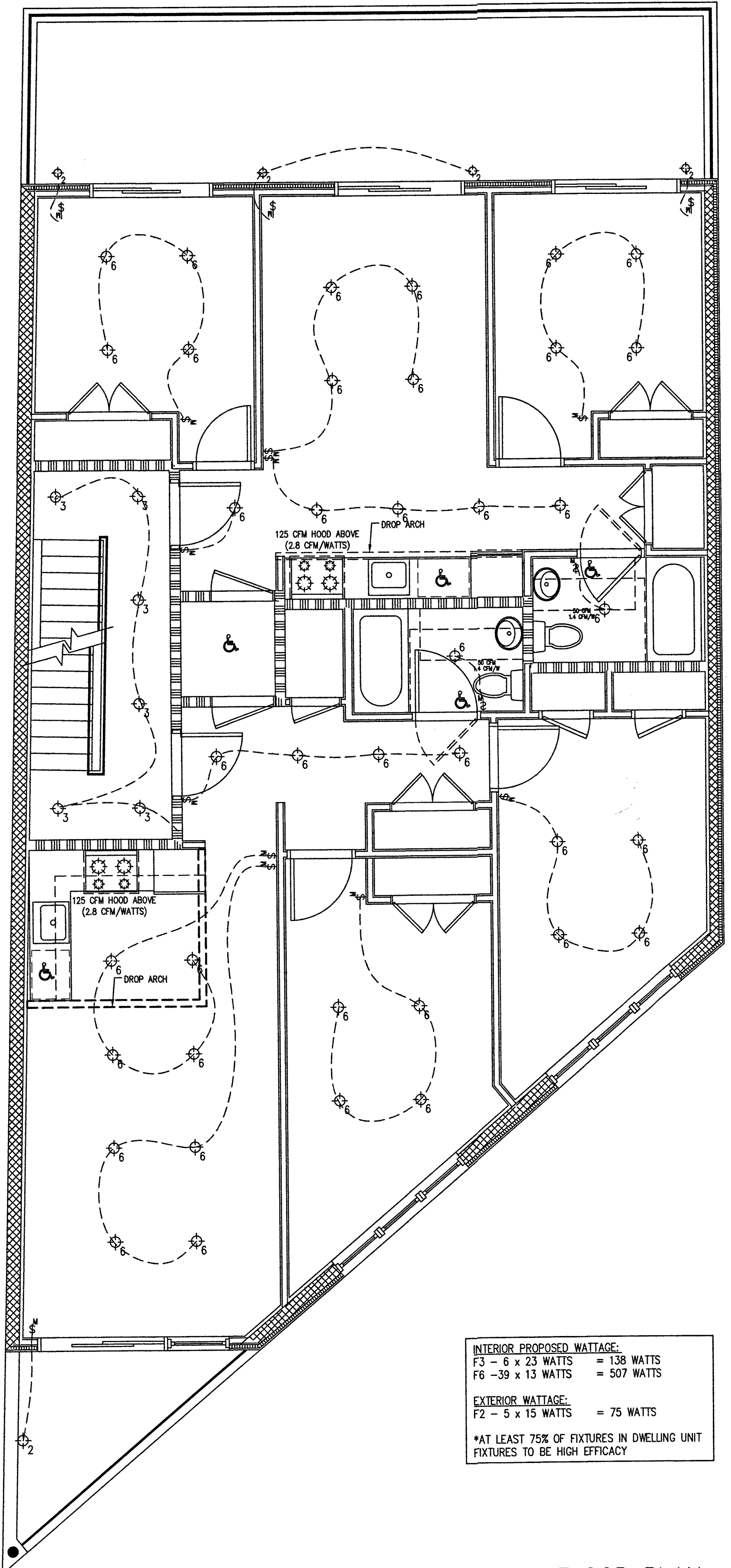
APPLICATION NO.



DRAWING NO.

A-401.00

14 of 25

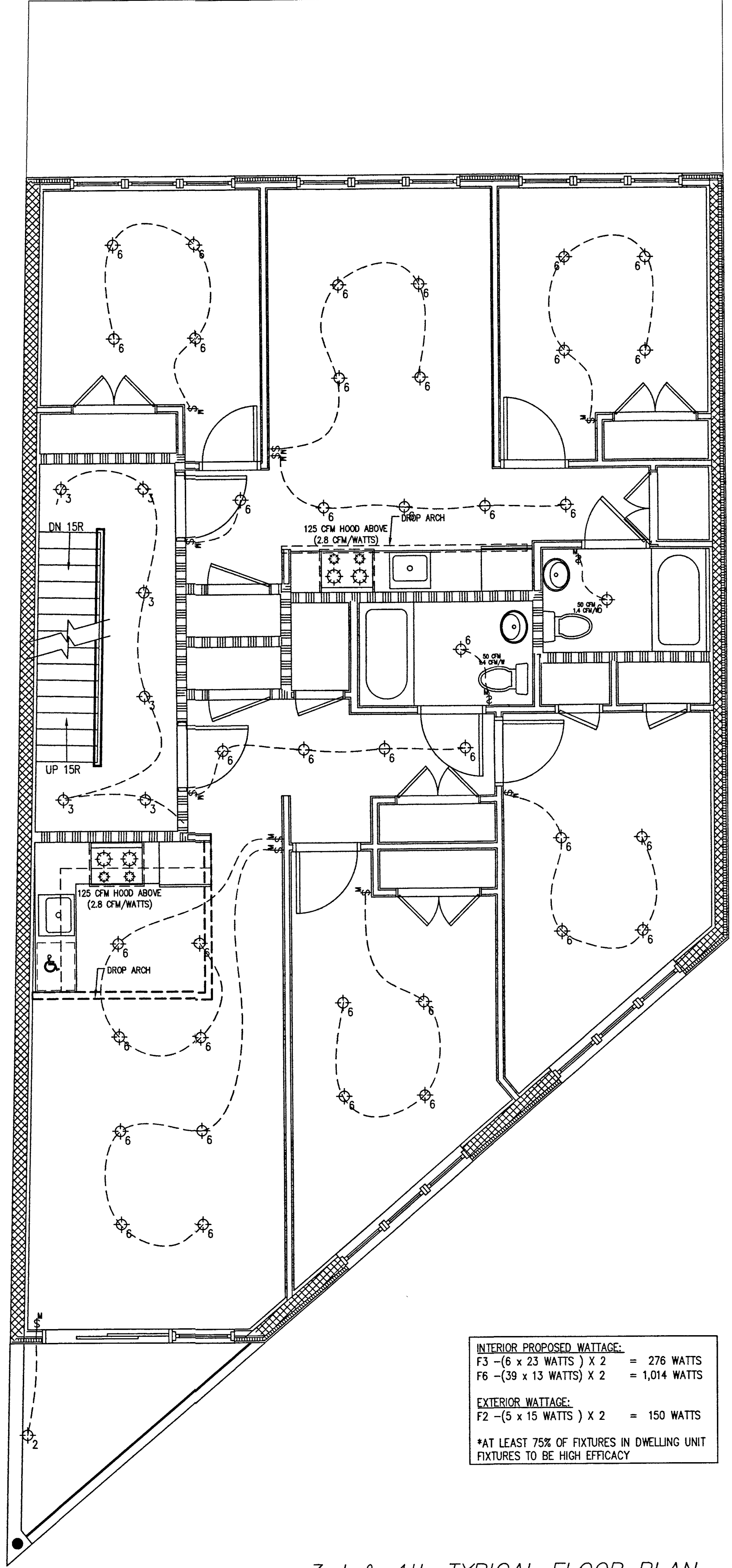


INTERIOR PROPOSED WATTAGE:
F3 - 6 x 23 WATTS = 138 WATTS
F6 - 39 x 13 WATTS = 507 WATTS

EXTERIOR WATTAGE:
F2 - 5 x 15 WATTS = 75 WATTS

*AT LEAST 75% OF FIXTURES IN DWELLING UNIT
FIXTURES TO BE HIGH EFFICACY

2nd FLOOR PLAN
SCALE: N.T.S

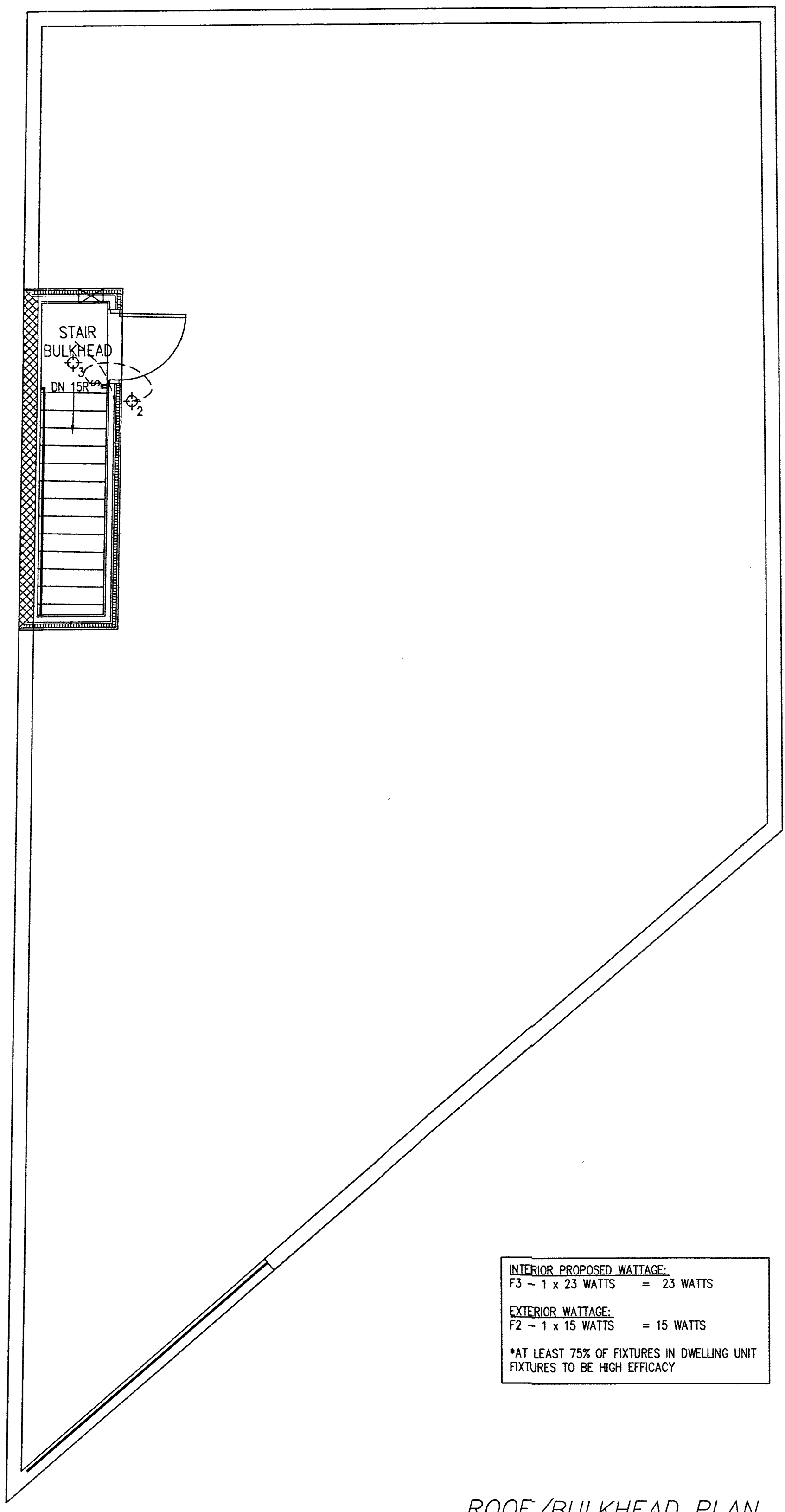


INTERIOR PROPOSED WATTAGE:
F3 - (6 x 23 WATTS) X 2 = 276 WATTS
F6 - (39 x 13 WATTS) X 2 = 1,014 WATTS

EXTERIOR WATTAGE:
F2 - (5 x 15 WATTS) X 2 = 150 WATTS

*AT LEAST 75% OF FIXTURES IN DWELLING UNIT
FIXTURES TO BE HIGH EFFICACY

3rd & 4th TYPICAL FLOOR PLAN
SCALE: N.T.S

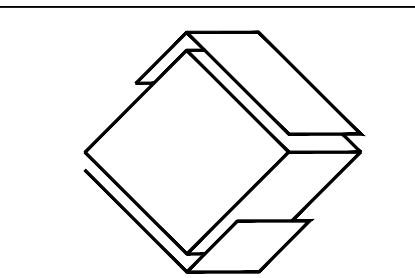


INTERIOR PROPOSED WATTAGE:
F3 - 1 x 23 WATTS = 23 WATTS

EXTERIOR WATTAGE:
F2 - 1 x 15 WATTS = 15 WATTS

*AT LEAST 75% OF FIXTURES IN DWELLING UNIT
FIXTURES TO BE HIGH EFFICACY

ROOF/BULKHEAD PLAN
SCALE: N.T.S

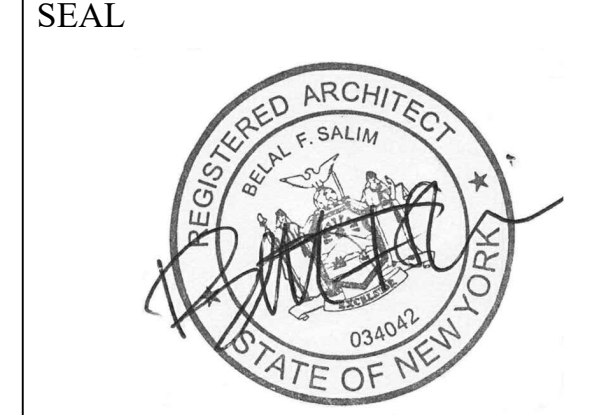


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PROJECT LOCATION
129-24 Merrick Blvd
Jamaica NY, 11434

OWNER INFORMATION
129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432

DRAWING TITLE
Cellar -Roof Mechanical plan

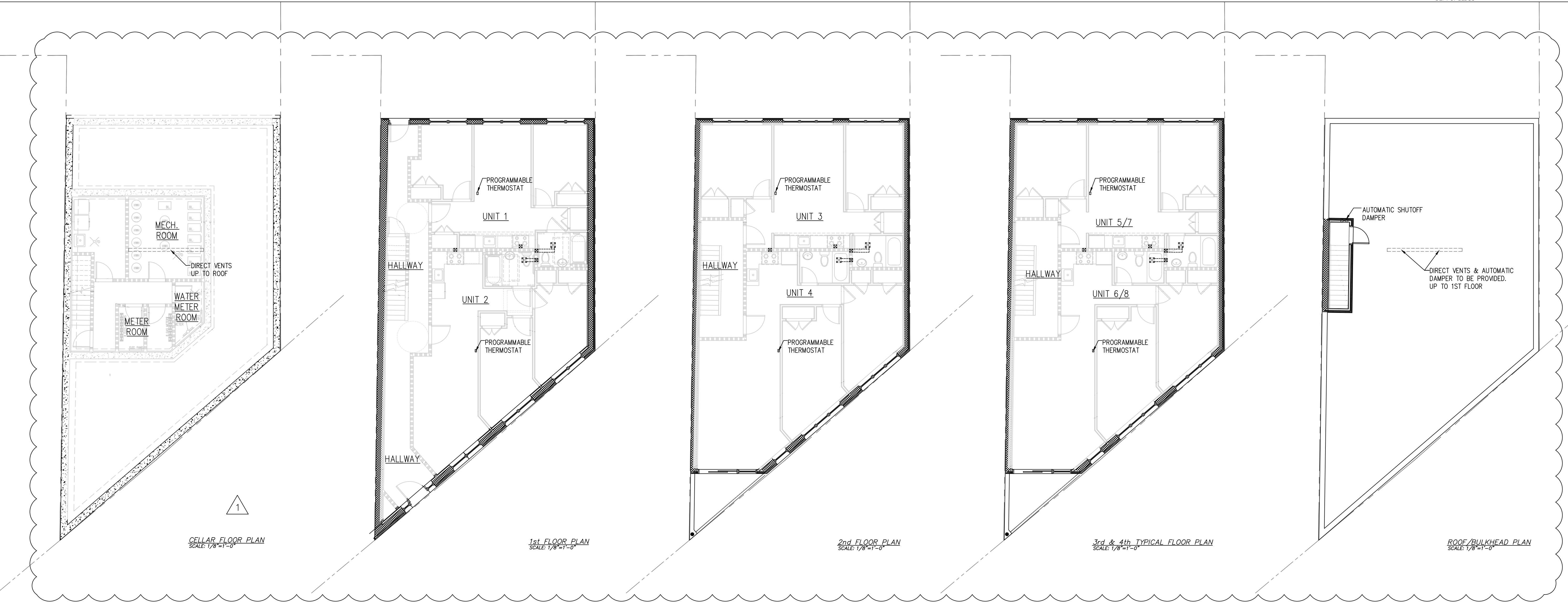
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APPLICATION NO.

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EQUIPMENT SCHEDULE

ITEM	TYPE	# OF UNITS	MAKE	MODEL#	CAPACITY	EFFICIENCY
(H.W.H)	HOT WATER HEATER	8	MAKE: A.O SMITH	GCR-40 *W/ OUTDOOR SETBACK CONTROL	HEATING: 40,000 BTU/h	0.62 ENERGY FACTOR
(BL)	GAS FIRED BOILERS	8	WILLIAMSON	GWA105	HEATING: 105,000 BTU/h	83% AFUE

INTERIOR DESIGN TEMPERATURES USED FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE MAXIMUM 72°F FOR HEATING AND MINIMUM 75°F FOR COOLING.
EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ASHRAE/ACCA 183 OR SIMILAR SECTION OF THE COMMERCIAL CODE OF N.Y.S.

HEATING CAPACITY OF BOILER = 105,000 BTUs x 8 UNITS= 840,000 BTUs
840,000 BTUs > 600,000 BTU/h

NARRATIVE:
SEQUENCES OF OPERATION—FURNISH AND MOUNT ALL DEVICES AS REQUIRED TO PERFORM THE SEQUENCES OF OPERATION:

A. HEATING UNITS:
1. UNITS SHALL BE AUTOMATICALLY STATED AND STOPPED VIA AN INDIVIDUAL DIGITALLY PROGRAMMABLE HEATING/COOLING THERMOSTAT WITH SEVEN-DAY TIME CLOCK CONTROL AND [LOCKING COVER OR TOTAL KEYPAD LOCKOUT WITH PASSWORD OVERRIDE] LOCATED WITHIN THE SEVERED SPACE. THE TIME SCHEDULE TO BE DETERMINED BY OWNER (E.G 8:00AM TO 6:00PM). THERMOSTATS TO INCLUDE TIMED OVERRIDE CAPABILITY TO OVERRIDE THE CLOCK SETTING IN THREE (3) HOUR INCREMENTS (ADJUSTABLE).
2. THERMOSTATS TO INCLUDE MULTIPLE STAGES AS REQUIRED BY EQUIPMENT CONTROLLED.
3. HEAT MODULE:
THE HEATING/COOLING THERMOSTAT SHALL ENGAGE THE HEATER IN STAGES TO MAINTAIN A SPACE TEMPERATURE OF 72 DEGREES (ADJUSTABLE)

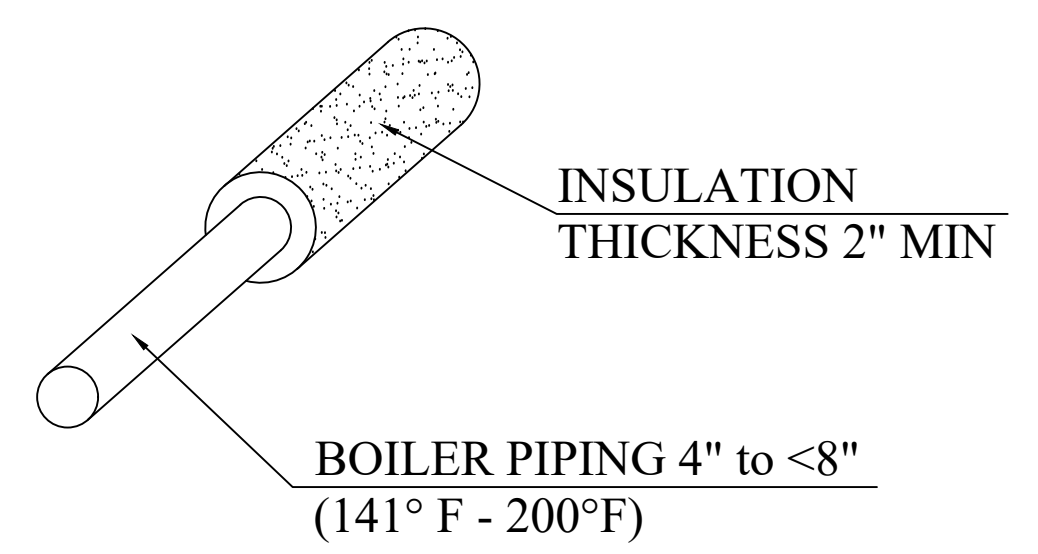
B. VARIABLE AIR VOLUME BOXES:
1. PROVIDE ROOM THERMOSTATS (SENSOR), ONE PER VAV BOX. LOCATED AS INDICATED ON THE DRAWINGS TO MAINTAIN A 75F SPACE TEMPERATURE (ADJUSTABLE)
2. THERMOSTATS/SENSORS:
a.) THERMOSTATS/ SENSORS SHALL BE PROVIDED FOR EACH VAV BOX.
b.) ALL ROOM THERMOSTATS/SENSORS SHALL HAVE LOCAL READOUT AND LOCAL ADJUSTMENT. ALL TEMPERATURE SENSORS ASSOCIATED WITH SUPPLEMENTAL AIR CONDITIONAL SYSTEM SHALL BE EQUIPPED WITH A MANUAL OVERRIDE BUTTON TO ENGAGE THE SUPPLEMENTAL SYSTEM AFTER PRE-PROGRAMMED HOURS IN 1 HOUR INCREMENTS FOR 1 HOUR (ADJUSTABLE)

C. EXHAUST/TRANSFER FANS:
1. FANS SHALL BE PROVIDED WITH ELECTRONIC TYPE ADJUSTABLE TIME CLOCKS INITIALLY SET TO THE BUILDING'S HOURS OF OPERATIONS. COORDINATE WITH ARCH/OWNER FOR EXACT LOCATION(S) INSTALL SPEED CONTROLLER AT FAN ABOVE HUNG CEILING FOR WIRING BY ELECTRICAL CONTRACTOR.

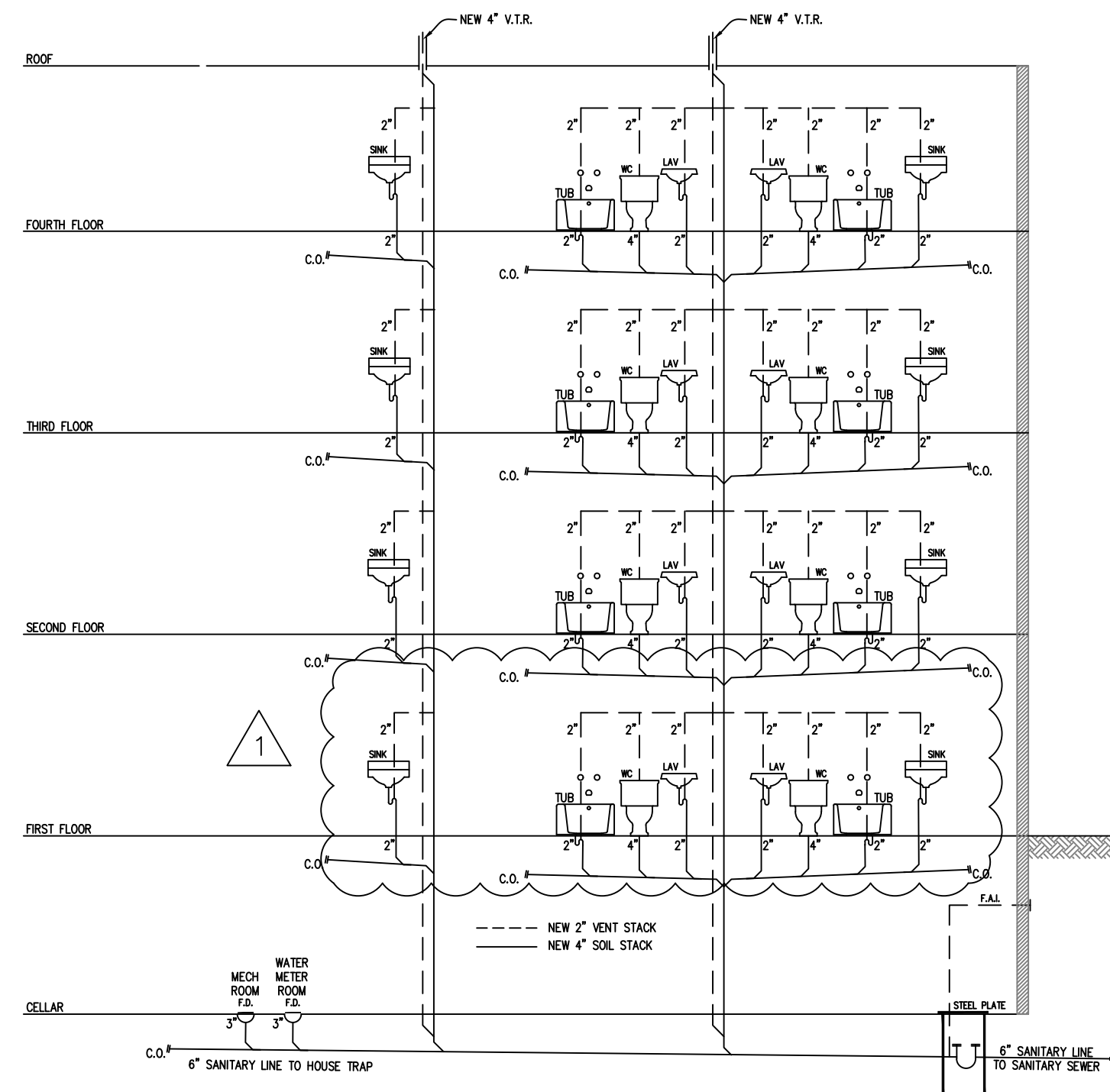
MECHANICAL EQUIPMENT NARRATIVE

ITEM	TYPE OF DEVICE	LOCATION	INTENT
(H.W.H)	HOT WATER HEATER	MECHANICAL ROOM	HOT WATER SERVICE CONTROLS SHALL AUTOMATICALLY TURN OFF THE PUMP WHEN THE WATER IN THE CIRCULATION LOOP IS AT THE DESIRED TEMPERATURE AND WHEN THERE IS NO DEMAND FOR HOT WATER. CONTROLS SHALL LIMIT THE TEMPERATURE OF THE WATER ENTERING THE COLD-WATER PIPING TO 104°F (40°C).
(BL)	COMBINATION BOILER/WATER HEATER	MECHANICAL ROOM	BOILER FOR HEAT

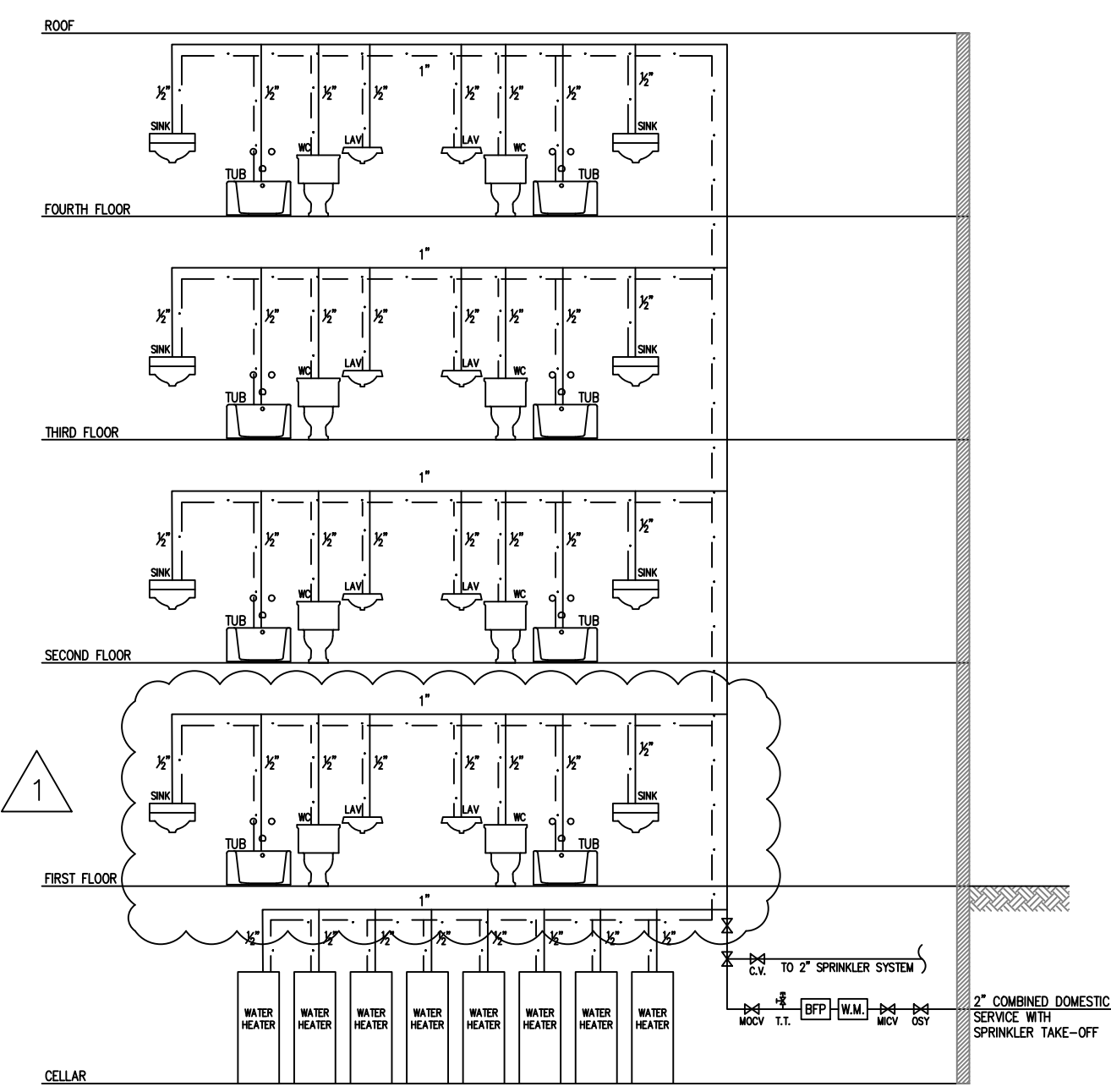
ANY PIPING REQUIRED FOR BOILERS SHALL BE INSULATED AS PER TABLE C403.2.10



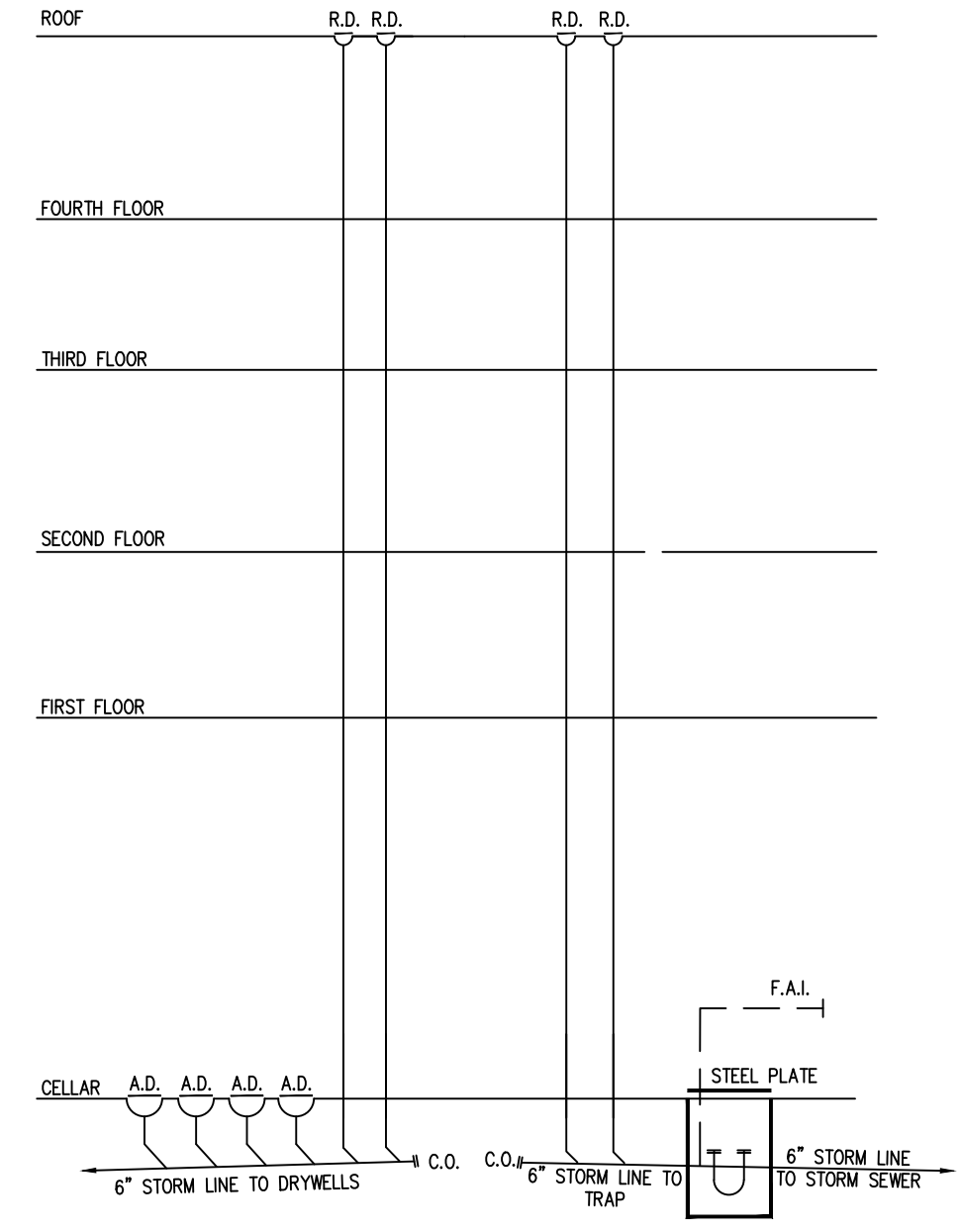
- INSULATION TO BE EITHER OF THE FOLLOWING:
- HIGH DENSITY FIBERGLASS SHAPED FOR PIPES
 - BLANKETS OR BATTS OF FIBERGLASS OR MINERAL WOOL
 - SPRAY-ON CERAMIC
 - SPRAY-ON FOAM



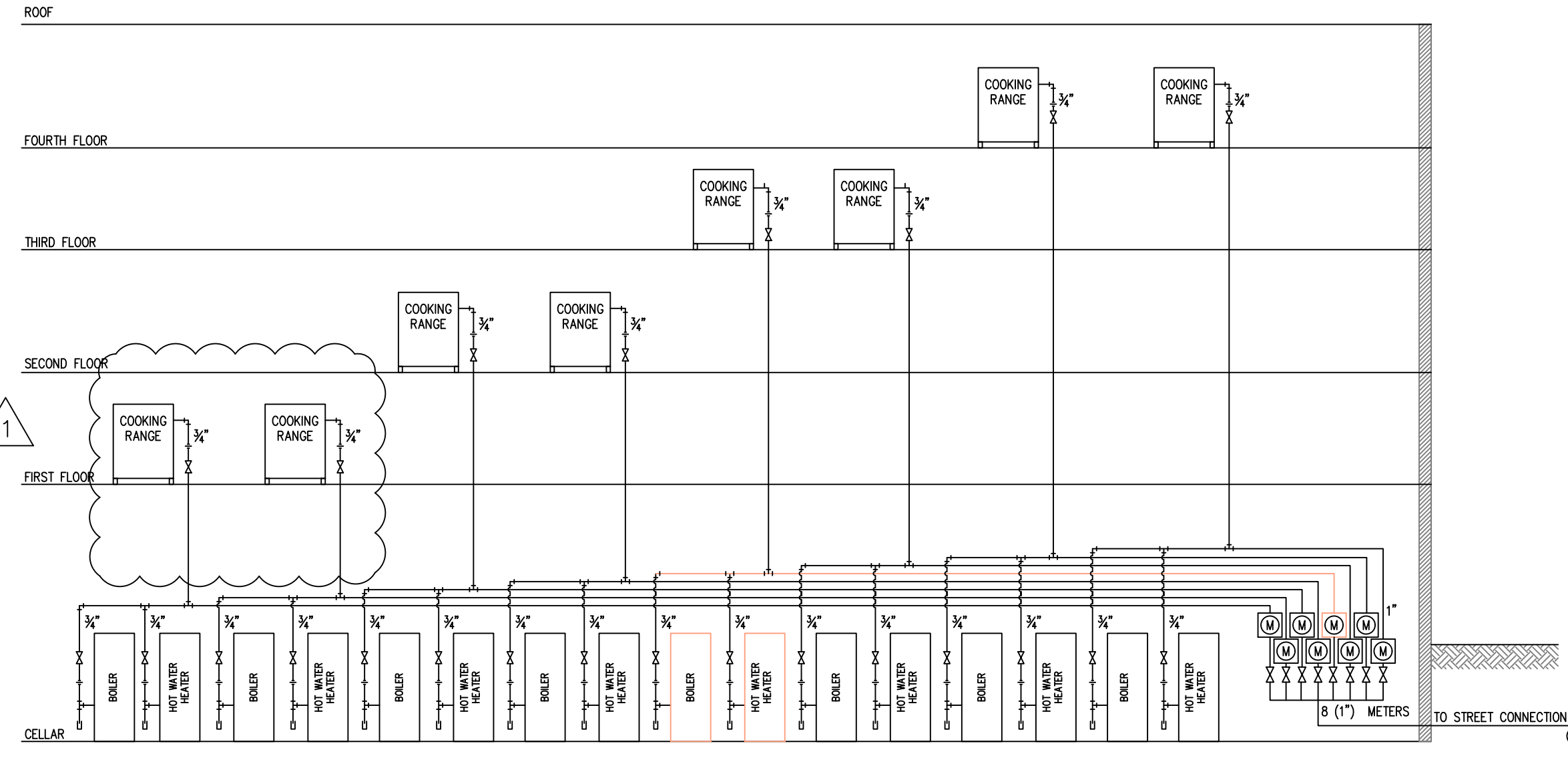
SANITARY WATER RISER DIAGRAM
SCALE: NOT TO SCALE



DOMESTIC WATER RISER DIAGRAM
SCALE: NOT TO SCALE



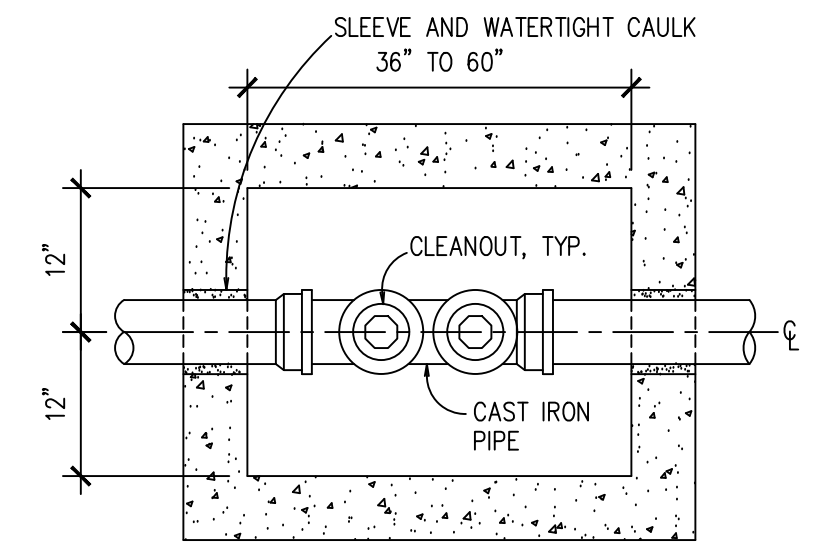
STORM WATER RISER DIAGRAM
SCALE: NOT TO SCALE



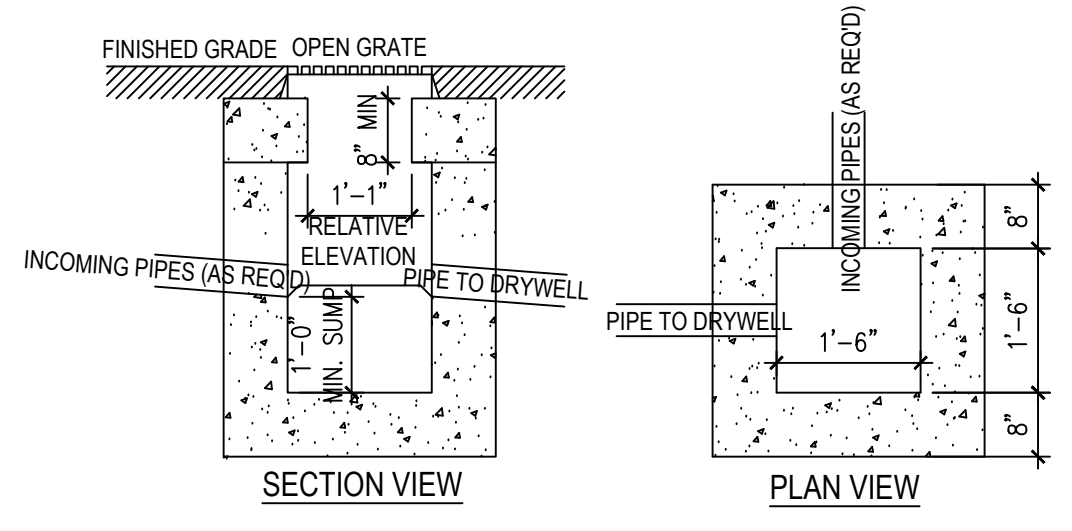
GAS RISER DIAGRAM
SCALE: NOT TO SCALE

NYCEC CITATION	PROVISION	ITEM DESCRIPTION	CODE PRESCRIPTIVE VALUE	PROPOSED DESIGN VALUE
TABLE C404.2	HOT WATER HEATER	MAKE: A.D. SMITH MODEL: G28-40 *W/ OUTDOOR SETBACK CONTROL *W/ HEAT TRAP	CAPACITY: ≤ 75,000 BTU/h	CAPACITY: 40,000 BTU/h ENERGY FACTOR: 0.62
TABLE C403.2.3(5)	GAS FIRED BOILERS	MAKE: WILLIAMSON MODEL: GW405	CAPACITY: < 300,000 BTU/h MIN. EFFICIENCY: 80% AFUE	CAPACITY: 105,000 BTU/h EFFICIENCY: 83% AFUE

MECHANICAL NOTE:
EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL J OR SIMILAR SECTION OF THE RESIDENTIAL CODE OF N.Y.S.

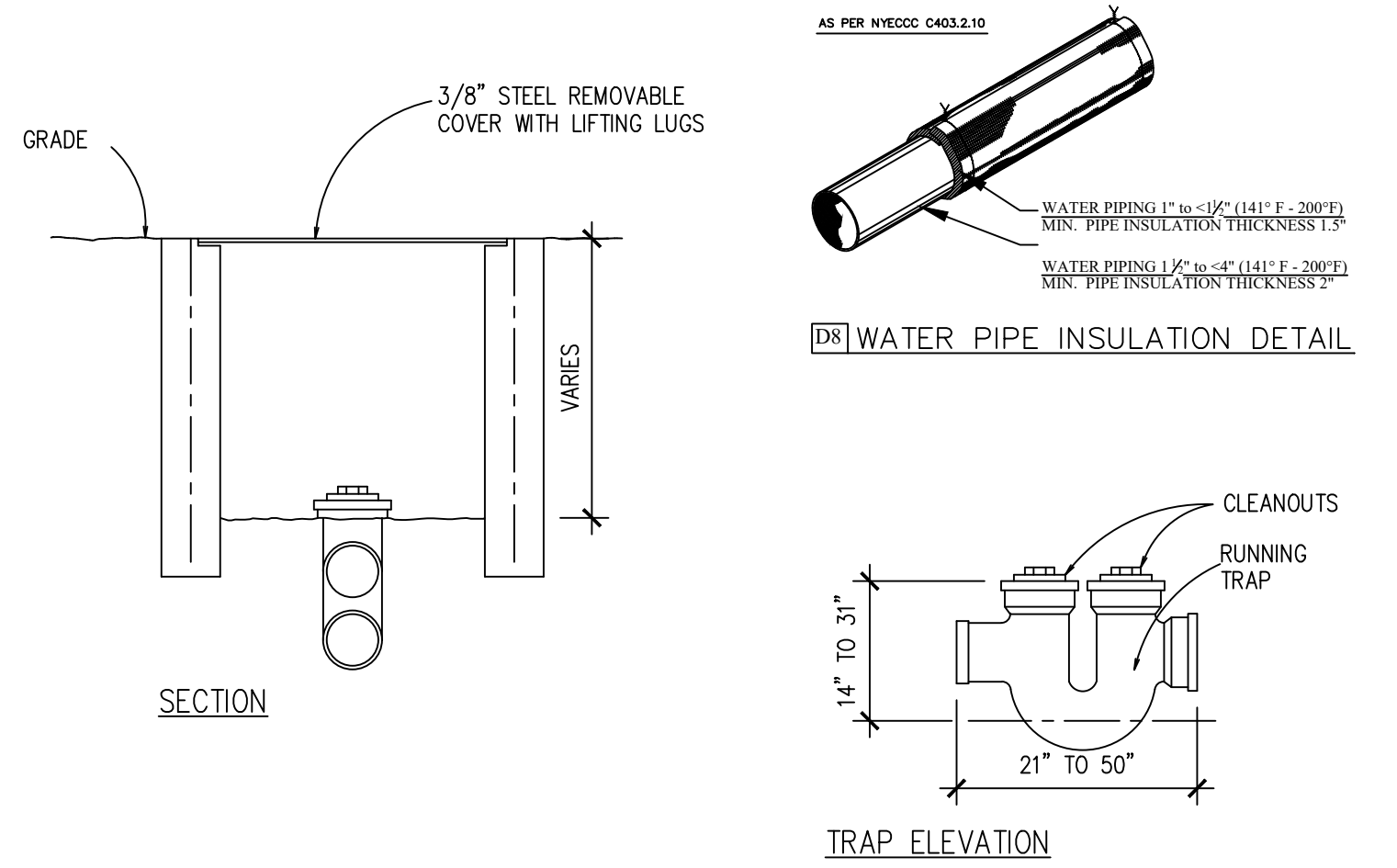


TYPICAL HOUSE TRAP DETAILS
SCALE: NOT TO SCALE

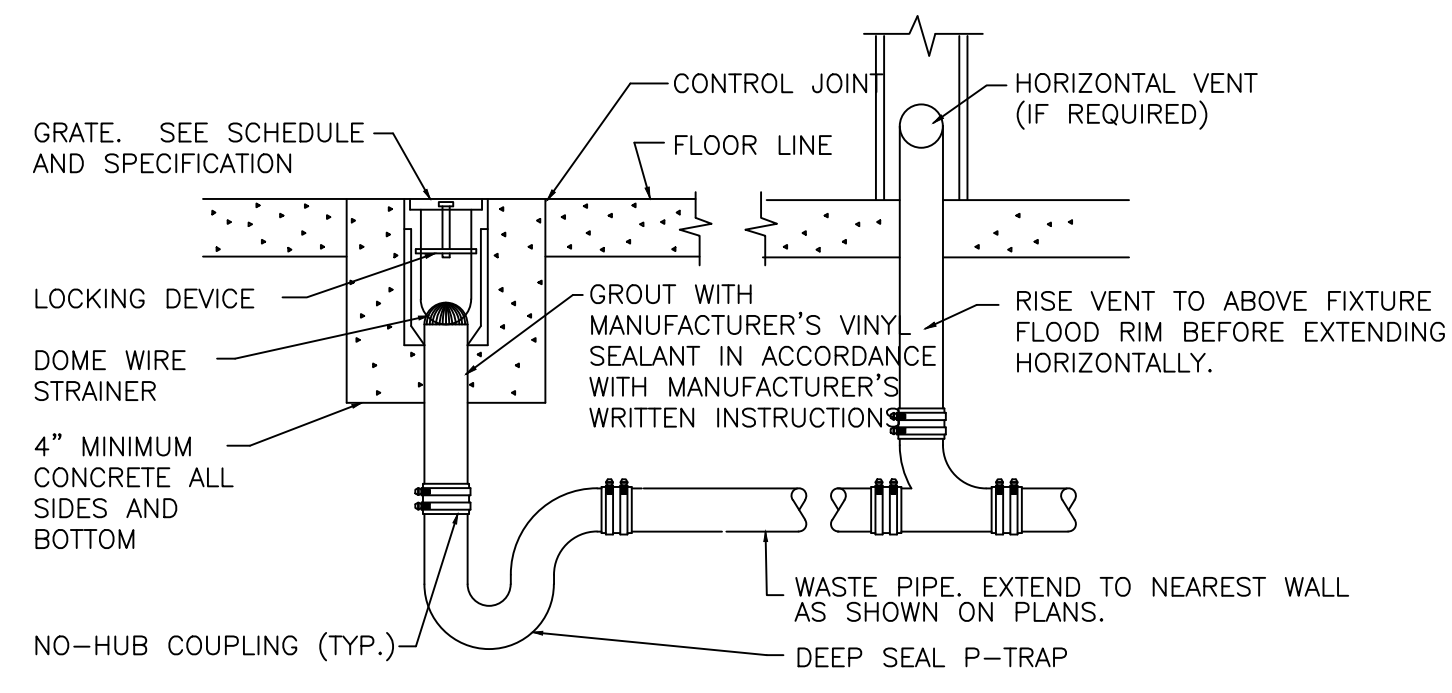


GRIT CHAMBER DETAILS
SCALE: NOT TO SCALE

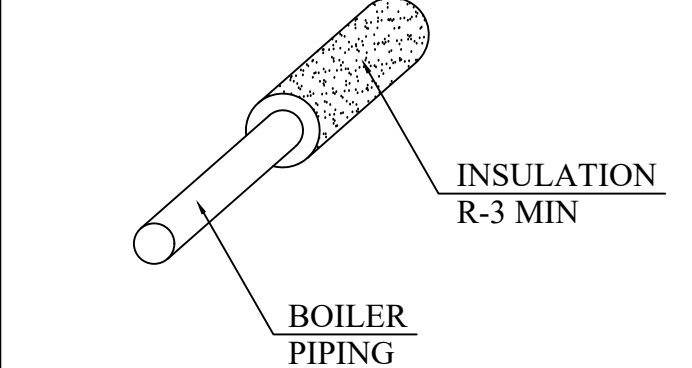
- SERVICE WATER PIPE INSULATION DESIGN IS BASED ON TABLE C403.2 WHERE
- FLUID TEMPERATURE RANGE AND USAGE - 141° F - 200° F
 - NOMINAL PIPE SIZE IS 1/2"
 - MINIMUM PIPE INSULATION IS 1.5" THICKNESS
- SERVICE WATER PIPING MAX ALLOWABLE PIPE VOLUME METHOD
- NOMINAL PIPE SIZE IS 1/2"
 - VOLUME: 1.5 OUNCE/FT
 - PROPOSED MAX WATER PIPE LENGTH: 30FT.
MAX VOL: 30 x 1.5 = 45 OUNCES - 0.35 GAL < 0.5 GAL



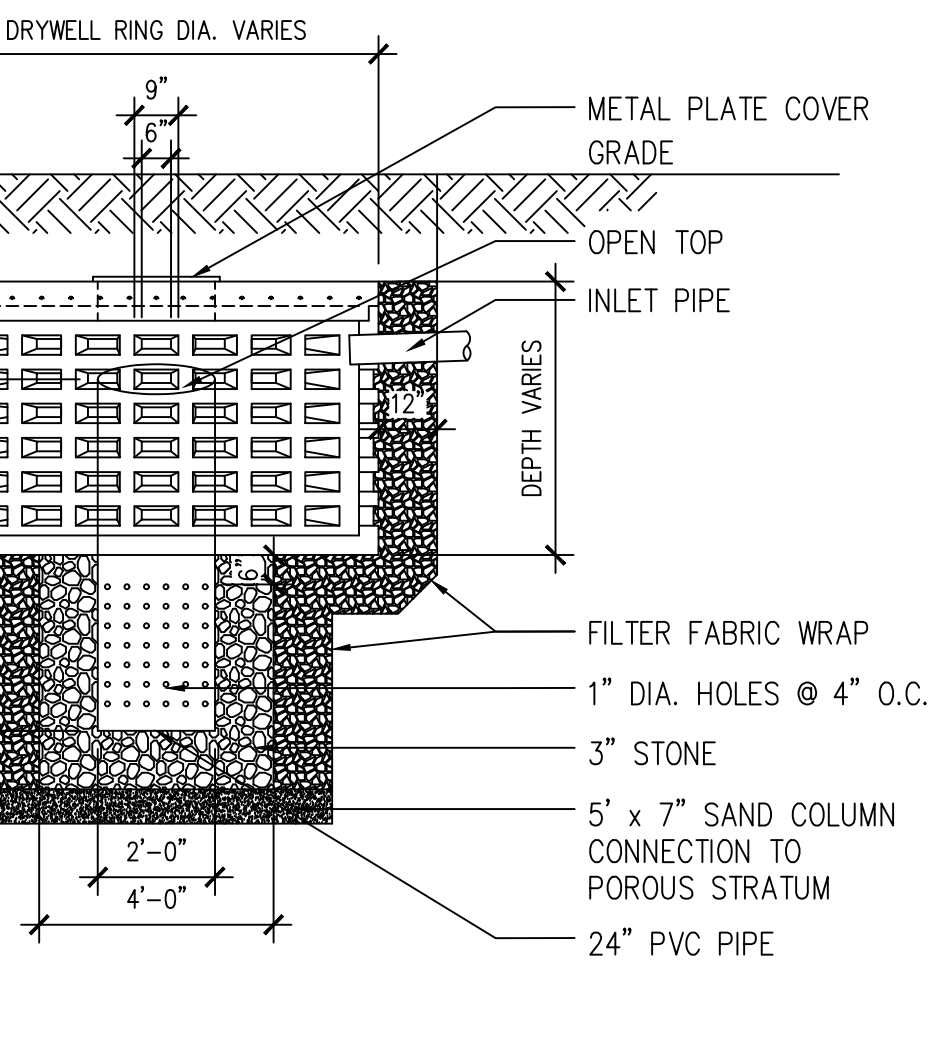
ANY PIPING REQUIRED FOR BOILER SHALL BE INSULATED WITH MIN R-3 INSULATION
ANY PIPING REQUIRED FOR H.W.H SHALL BE INSULATED WITH MIN R-3 INSULATION



TRENCH DRAIN DETAIL
NO SCALE



- INSULATION TO BE EITHER OF THE FOLLOWING:
- HIGH DENSITY FIBERGLASS SHAPED FOR PIPES
 - BLANKETS OR BATTS OF FIBERGLASS OR MINERAL WOOL
 - SPRAY-ON CERAMIC
 - SPRAY-ON FOAM



- DRYWELL NOTES:**
1. DRYWELLS AS MANUFACTURED BY CARLSON PRECAST INC., KINGSPARK, NY
 2. MATERIAL SPECIFICATIONS:
CONCRETE: STRENGTH 4000 PSI 28 DAYS
CEMENT ASTM C-150
AGGREGATES ASTM C-33
WATER PURE, POTABLE
REINFORCING STEEL:
REBARS ASTM A-615, GRADE 40
WELED WIRE FABRIC ASTM A-185
 4. FOR 4'-0" Ø DRYWELLS PROVIDE 4" COVER FOR NON-TRAFFIC AREAS, 6" COVER FOR TRAFFIC AREAS.
 5. FOR 8'-0" Ø DRYWELLS PROVIDE 6" COVER FOR NON-TRAFFIC AREAS, 8" COVER FOR TRAFFIC AREAS.
 6. IF BOTTOM OF DRYWELL IS NOT WITHIN 12" OF A POROUS STRATUM PROVIDE A 5' X 7' SAND COLUMN AS PER SECT. P110.13(C)(A)

BFS Architect P.C.

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PROJECT LOCATION

129-24 Merrick Blvd
Jamaica NY, 11434

OWNER INFORMATION

129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432

DRAWING TITLE

Riser Diagrams & Details

DRAWN BY	CHECKED BY	JOB NO.	SCALE	AS SHOWN	DATE
	B. SALIM				10/29/18
NO.	DATE	REVISION			
1	01/18/21	REVISIONS			

APPROVAL STAMPS

Devin K. Phillips
APPROVED
Date: 02/17/2021

APPLICATION NO.

DRAWING NO.

P-100.01

16 of 25

GENERAL NOTES

1. WORK MUST CONFORM TO THE REQUIREMENT OF THE NEW YORK CITY BUILDING CODE, FIRE DEPARTMENT REGULATIONS AND ALL APPLICABLE LAWS, UTILITY COMPANY REQUIREMENTS AND THE BEST TRADE PRACTICES AS WELL AS THE PROJECT SAFETY PLAN AND PROGRAM AND CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWING AND FIELD CONDITION TO THE PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT AND SHALL BE NOTIFIED IN WRITING PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL TAKE, AND BE RESPONSIBLE FOR, ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE WORK SITE SO THAT ALL WORK WILL BE PROPERLY JOINED TO THE EXISTING WORK. BEFORE COMMENCING WORK, HE SHALL EXAMINE ALL EXISTING WORK ON WHICH HIS WORK IS IN ANY WAY DEPENDENT FOR PERFECT WORKMANSHIP ACCORDING TO THE INTENT OF THESE SPECIFICATIONS AND SHALL REPORT TO THE ENGINEER ANY CONDITIONS WHICH WILL PREVENT HIM FROM PERFORMING HIS WORK IN A FIRST CLASS MANNER.
4. QUALIFIED ENGINEER SHALL BE ON SITE FOR CONTROLLED INSPECTION THROUGHOUT THE ENTIRE CONSTRUCTION OF UNDEPINNING/EXCAVATION AS PER NYC BUILDING CODE.

CONCRETE NOTES

1. DESIGN MATERIALS AND METHOD OF CONSTRUCTION SHALL COMPLY WITH NEW YORK CITY BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318 2002 OF THE AMERICAN CONCRETE INSTITUTE.
2. THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS FOR ALL CONCRETE SHALL BE 4000 PSI.
3. ALL CONCRETE FORM WORK SHALL BE CLEAN AND FREE FROM ANY DEBRIS.

EXCAVATION NOTES

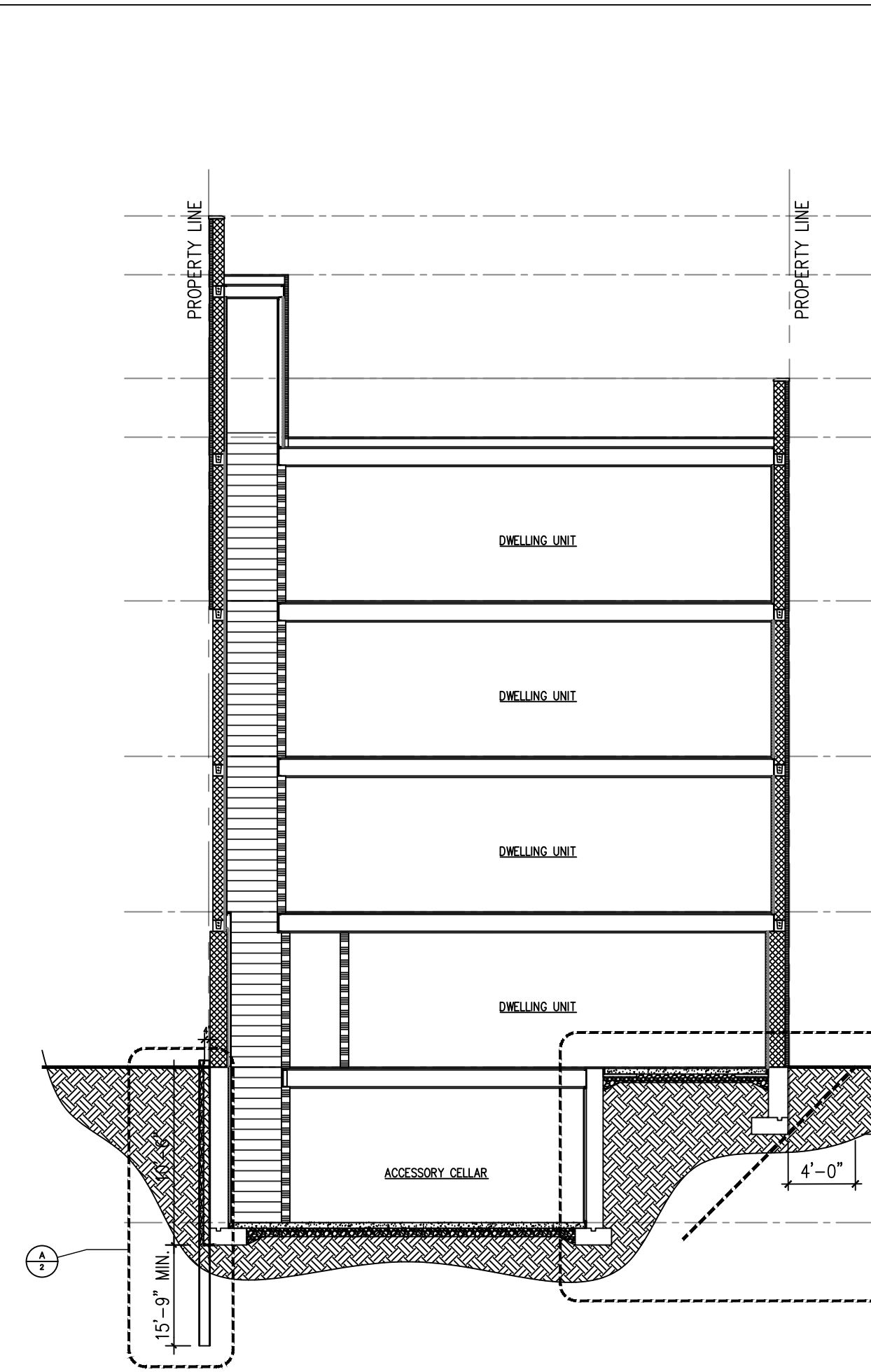
1. PRIOR COMMENCING ANY WORK, CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
2. THE DESIGN OF THE SOIL RETENTION SYSTEM WILL BE PROVIDED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE SOLELY AND FULLY RESPONSIBLE FOR DESIGN, INSTALLATION AND MAINTENANCE OF SHEETING AND SHORING. THE GENERAL CONTRACTOR SHALL ENGAGE AN ENGINEER LICENSED IN THE STATE OF NEW YORK TO DESIGN SHEETING AND SHORING NECESSARY TO CONSTRUCT FOUNDATION, TEMPORARY SHEETING AND SHORING DESIGN SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.
3. ALL EXCAVATION SHALL BE BASED ON ENGINEERED DRAWINGS PREPARED BY THE CONTRACTOR INCLUDING PLANS AND SECTIONS OF EXCAVATION SEQUENCES.
4. THE GENERAL EXCAVATION ACROSS THE SITE SHALL NOT EXTEND DEEPER THAN THE FOUNDATION ELEVATION. THE EXCAVATIONS FOR FOOTINGS, GRADE BEAMS, PITS, SLABS, ETC. SHALL BE EXCAVATED ON AN INDIVIDUAL, LOCALIZED BASIS.
5. THE CONTRACTOR SHALL PROVIDE POSITIVE PROTECTION (MAT/SHEET COVERINGS) FOR ALL EXCAVATION SLOPES TO PROTECT THEM FROM INSTABILITY AND DETERIORATION DUE TO RAIN, WIND OR SNOW/ICE.
6. THE CONTRACTOR SHALL PROVIDE SURFACE DRAINAGE CHANNELS AND SUMPS AND SUMP PUMPS TO PROTECT ALL EXCAVATIONS FROM FLOODING, FLOODING OF ANY PREPARATION AND APPROVAL OF THE SUBGRADE.
7. THE CONTRACTOR'S SOIL TESTING LABORATORY SHALL REVIEW AND MONITOR THE EXCAVATION, DEWATERING AND SOIL RETENTION SYSTEMS. THE CONTRACTOR SHALL PROVIDE, INSTALL AND SURVEY:
 - 7.1. VERTICAL AND HORIZONTAL MOVEMENTS OF THE TOP OF THE SOIL RETENTION SYSTEM; AND
 - 7.2. BENCHMARKS ADJACENT TO AND AWAY FROM THE SITE PERIMETER FOR VERTICAL AND HORIZONTAL MOVEMENTS.
8. UTILITY IDENTIFICATION AND EXPLORATION AS NECESSARY BY GENERAL CONTRACTOR.
9. COORDINATE ALL WORK WITH PLUMBING AND ELECTRICAL DRAWINGS FOR UNDER GROUND UTILITY AND GROUNDING REQUIREMENTS.

SOLDIER/SHEET PILE NOTES

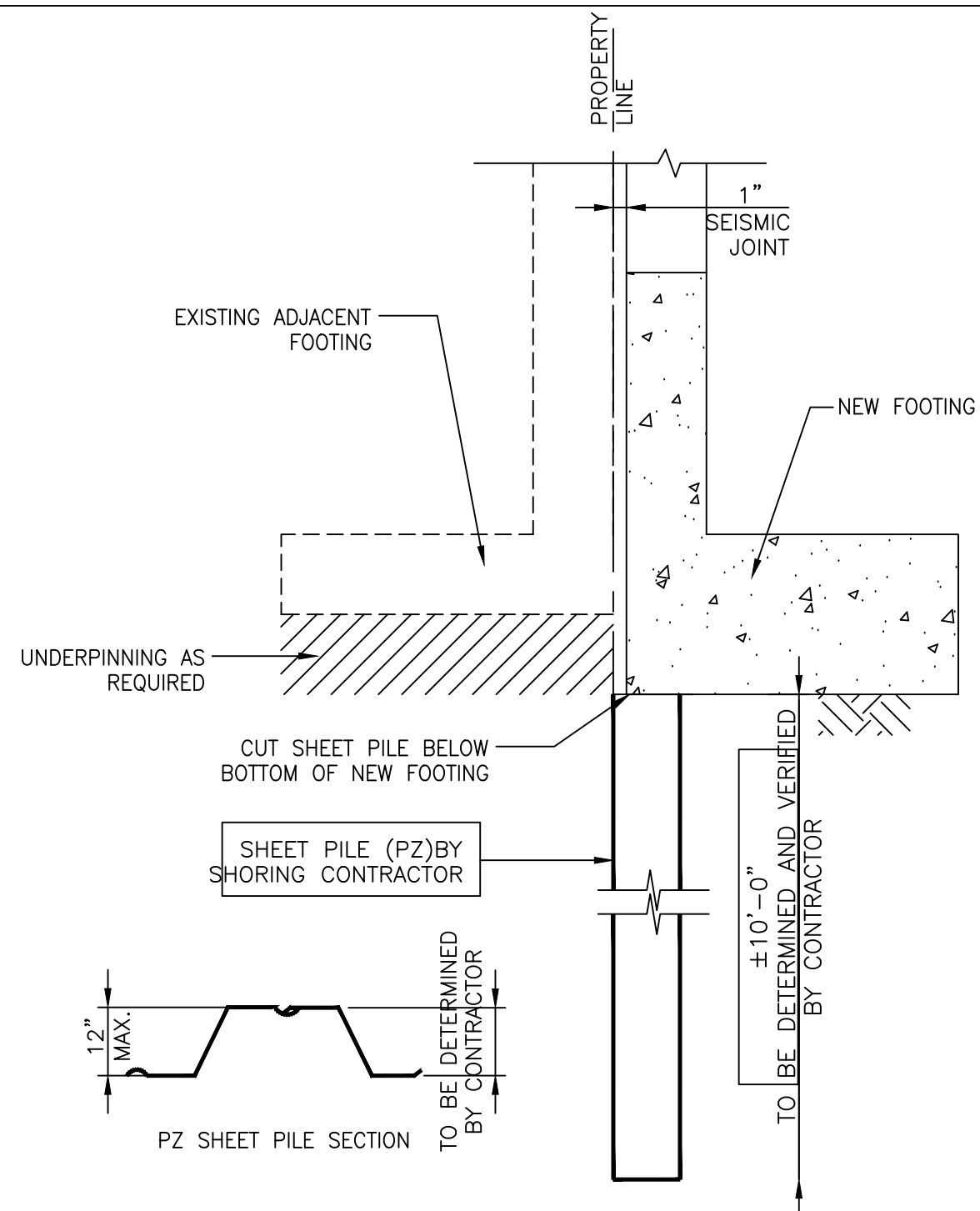
1. SOLDIER/SHEET PILES TO BE INSTALLED BY DRILLING METHOD ONLY.
2. ALL THE PILES SHALL BE INSTALLED AT LOCATIONS AS SHOWN ON CONTRACTORS DRAWINGS.
3. LAYOUT PILE LOCATION BY GENERAL CONTRACTOR (SURVEYED IN PLACE).
4. PLACE SOLDIER/SHEET PILES ACCORDING TO SIZE, LENGTH AND UP TO TIP ELEVATION AS INDICATED ON DRAWINGS.

SHEETING AND BRACING NOTES

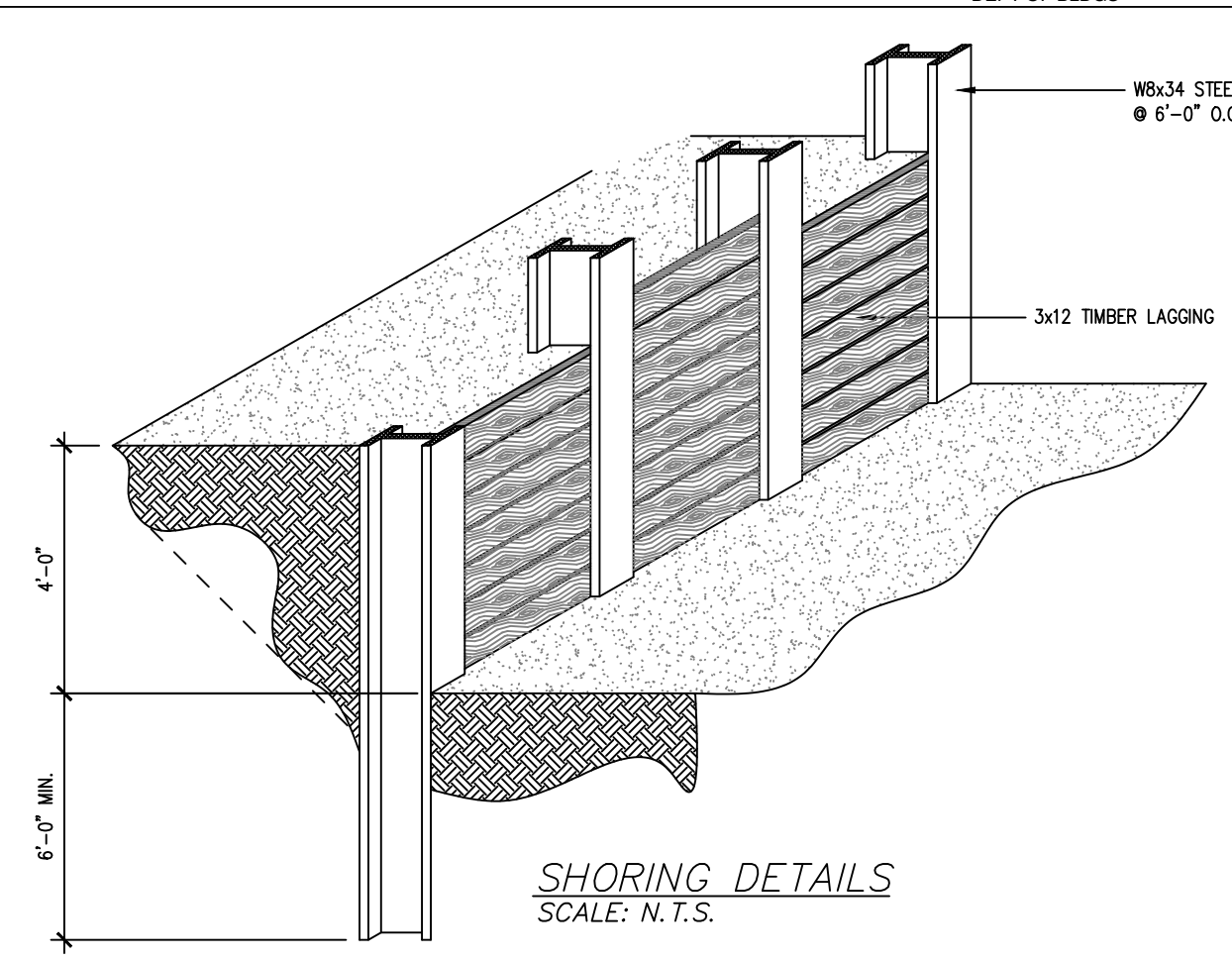
1. PRIOR TO COMMENCING ANY WORK, CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
2. THE BOTTOM ELEVATION AND CONFIGURATION OF THE EXISTING FOOTINGS AS SHOWN ARE APPROXIMATE.
3. CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DIFFERENCES NOTED FROM THE CONDITIONS SHOWN ON DRAWINGS THROUGHOUT THE EXCAVATION.
4. UTILITY IDENTIFICATION AND EXPLORATION AS NECESSARY BY GENERAL CONTRACTOR.
5. MATERIAL FOR ALL SOLDIER/SHEET PILES, WALERS, RAKERS AND BRACKETS SHALL BE IN ACCORDANCE WITH ASTM A36.
6. ALL TIMBER LAGGING SHALL BE SOUTHERN PINE, DOUGLAS FIR, OR MIXED OAK CONSTRUCTION GRADE WHICH MEETS THE SHEETING AND BRACING DESIGN.
7. ALL STEEL WELDING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE LAWS STRUCTURAL WELDING CODE D1.1. ELECTRODES SHALL BE E70XX.



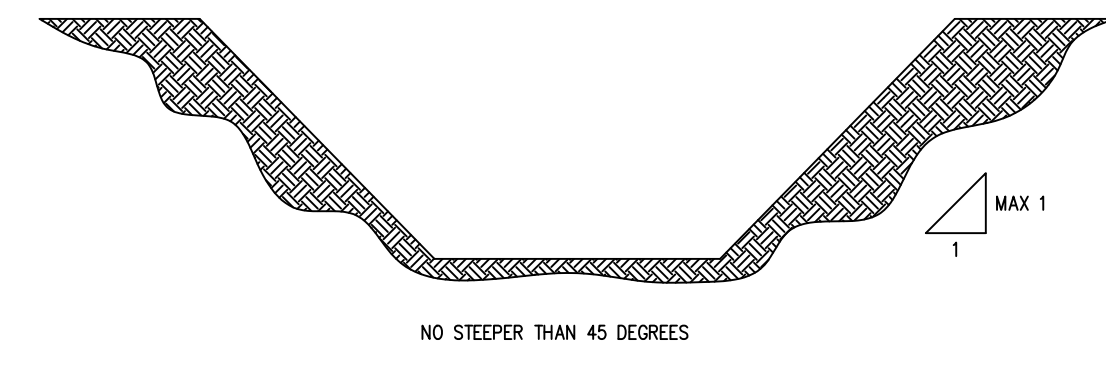
CROSS SECTION B
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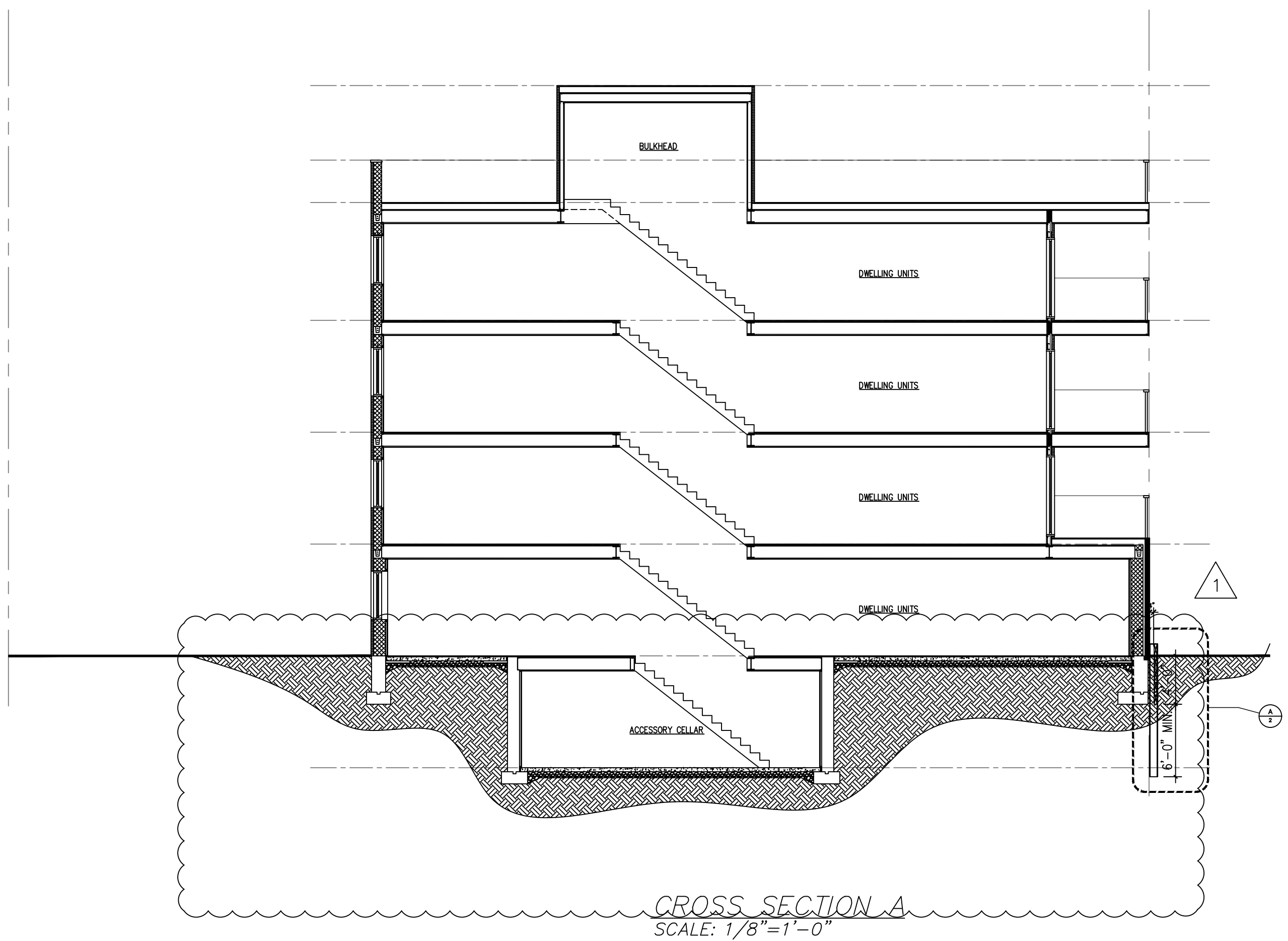
SUGGESTED TYPICAL SHEETING AND SHORING SECTION
SCALE: 1/2"=1'-0"



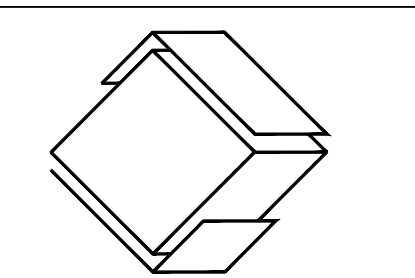
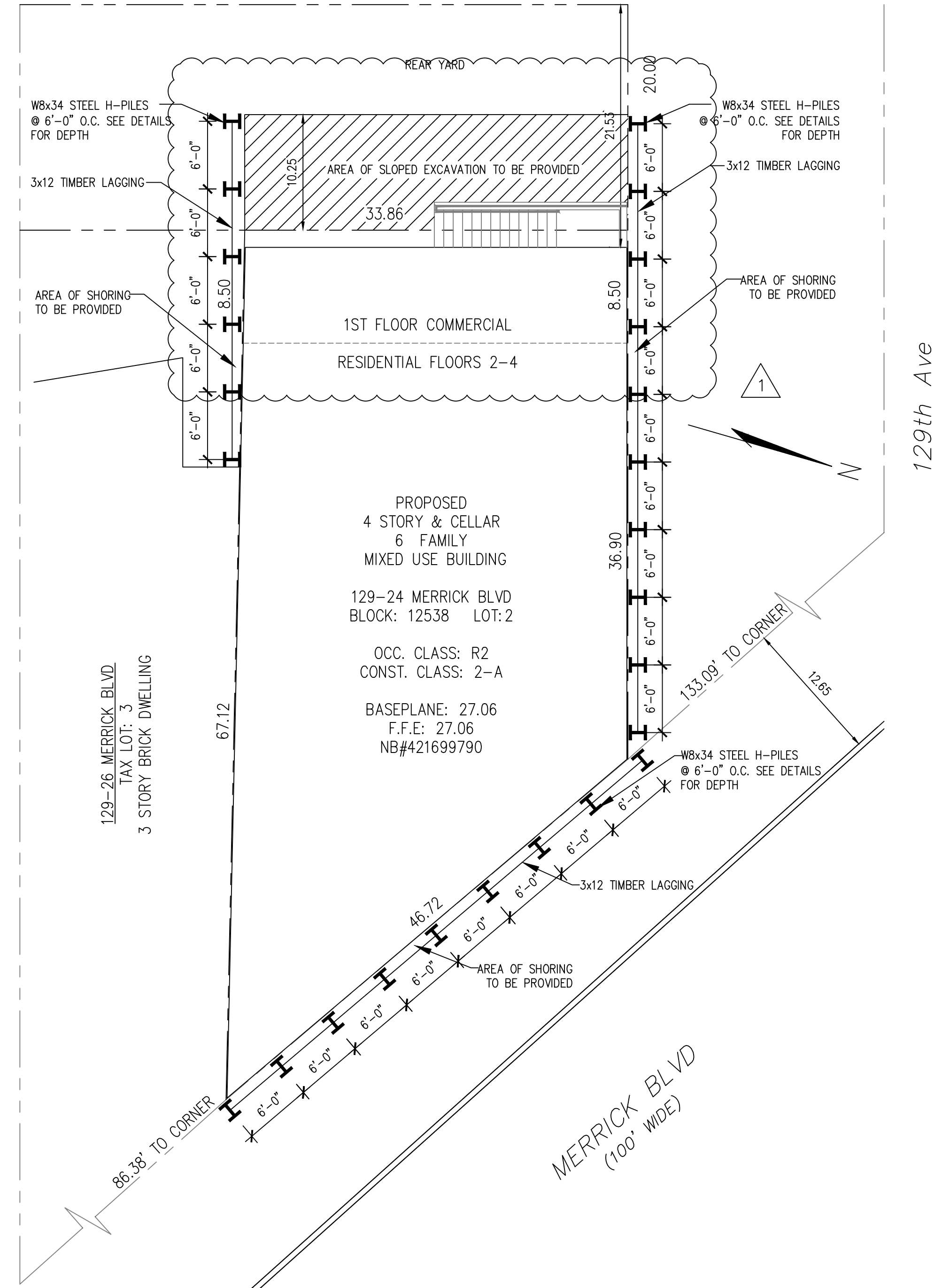
SHORING DETAILS
SCALE: N.T.S.



SLOPED EXCAVATION DETAILS
SCALE: N.T.S.



CROSS SECTION A
SCALE: 1/8"=1'-0"



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DRAWING TITLE
Shoring & excavation plans, notes & details

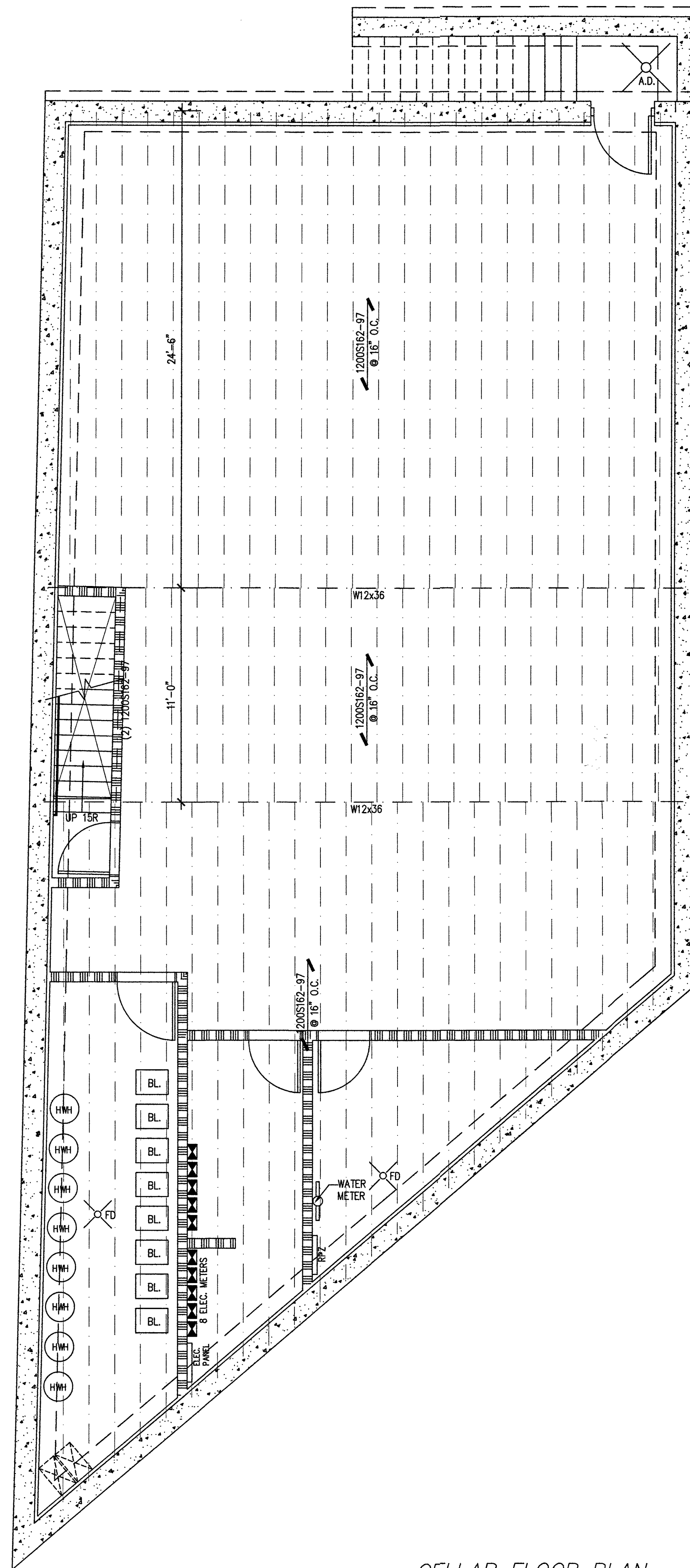
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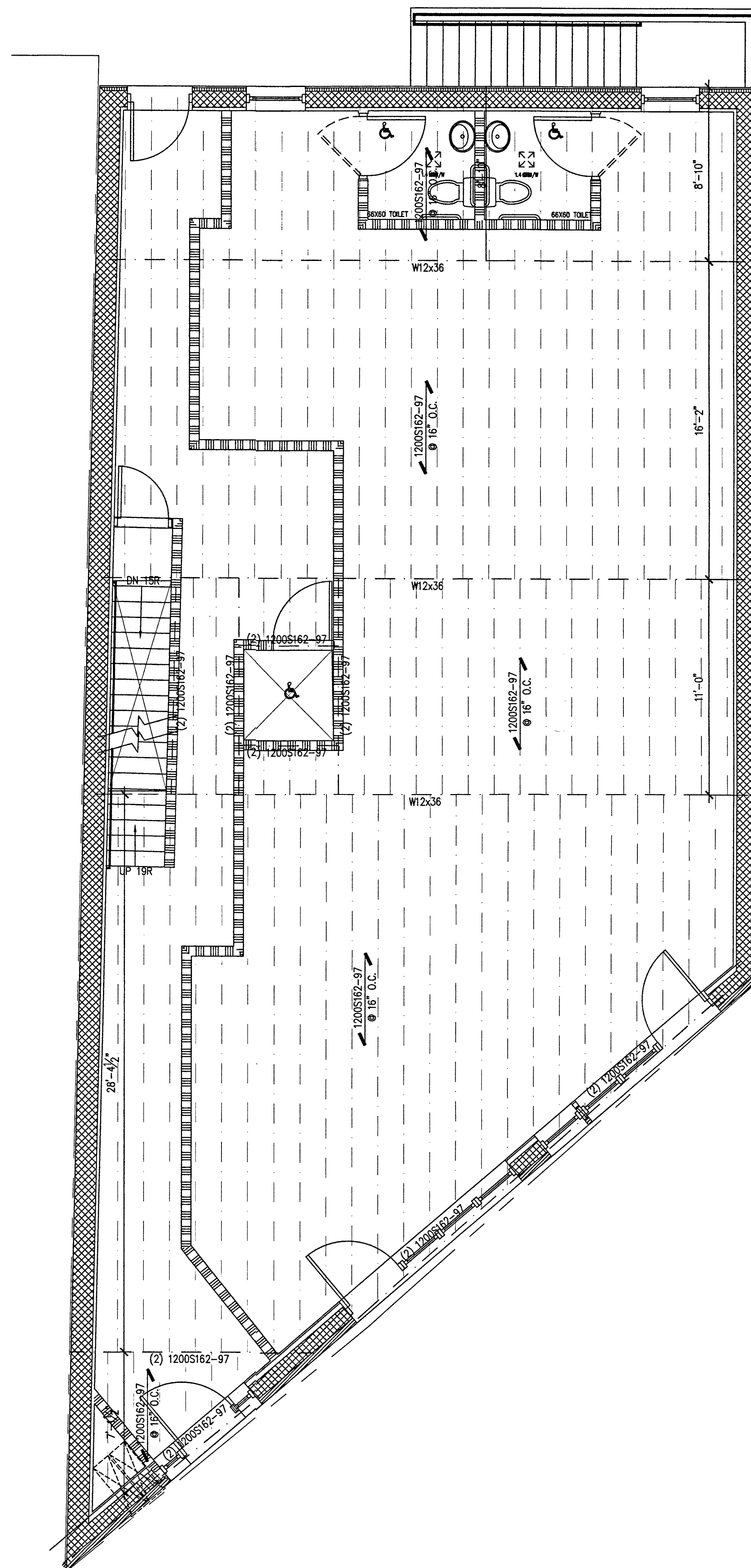


APPLICATION NO.

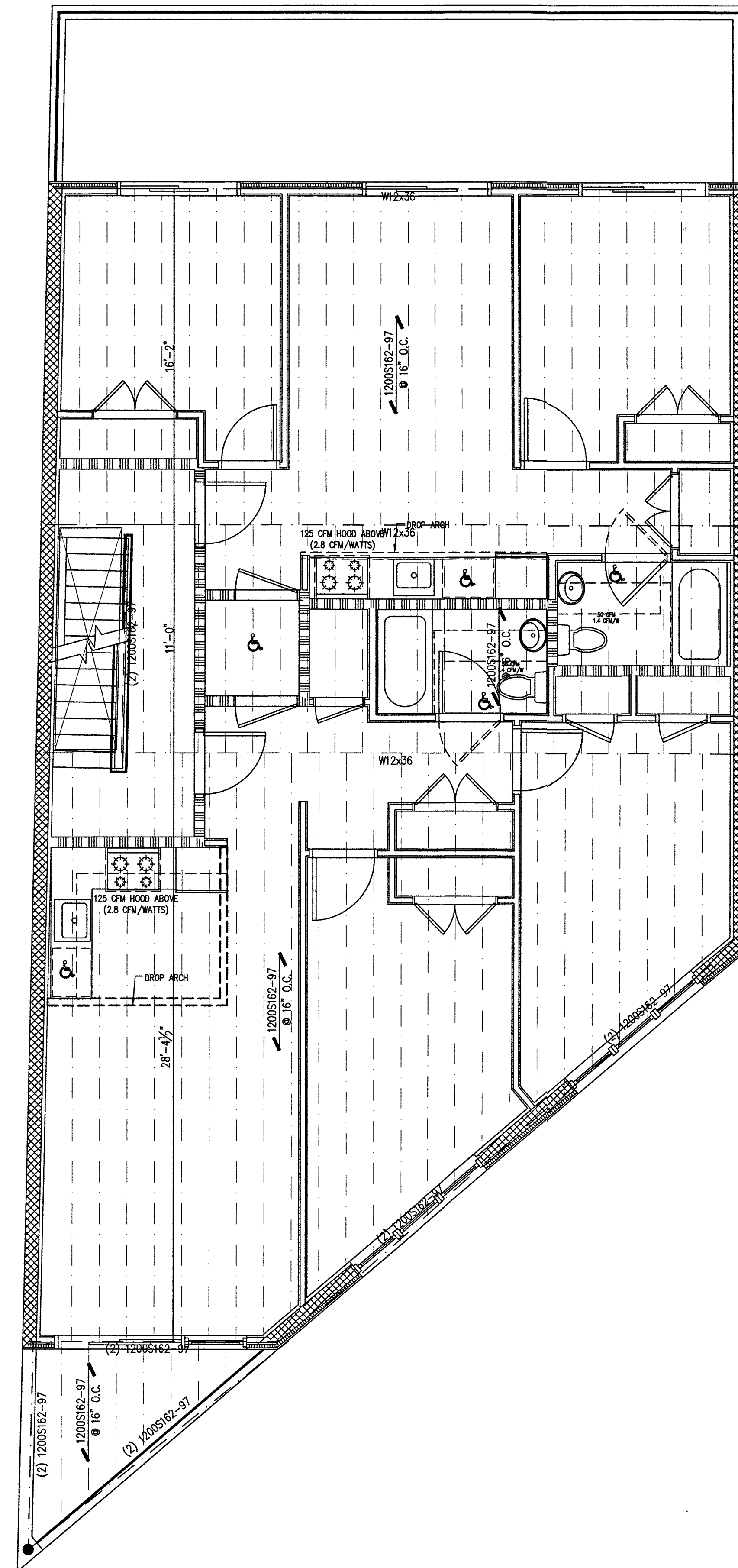
DRAWING NO.
SOE-100.01



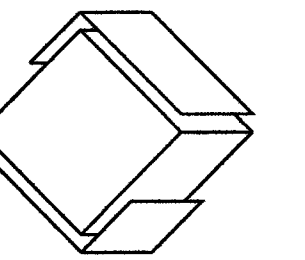
CELLAR FLOOR PLAN
SCALE: N.T.S



1st FLOOR PLAN
SCALE: N.T.S



2nd FLOOR PLAN
SCALE: N.T.S



BFS Architect P.C.

150-55c 14 Avenue 1st Floor
Whitestone, NY 11357

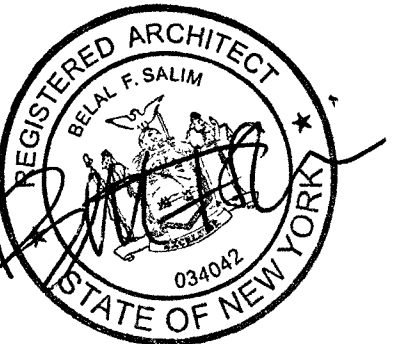
Tel: (718) 701-5959
Fax: (718) 701-5960

www.platoniksolidarch.com
info@platoniksolidarch.com

Architecture Consulting Expediting

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SEAL



PROJECT LOCATION

129-24 Merrick Blvd
Jamaica NY, 11434

OWNER INFORMATION

129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432

DRAWING TITLE

Structural Plans
Cellar - 2nd Floor

DRAWN BY	CHECKED BY	JOB NO.	SCALE	DATE
	B. SALIM		AS SHOWN	10/29/18

NO.	DATE	REVISION

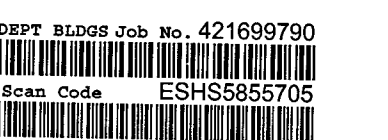
APPROVAL STAMPS

Devin Phillips

OCT 31 2019

EXAMINED FOR ZONING EGRESS AND FIRE PREVENTION ONLY AS PER DIR. 375

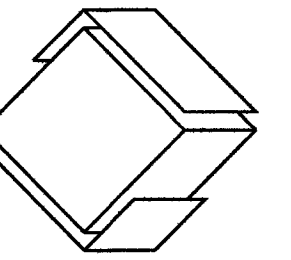
APPLICATION NO.



DRAWING NO.

S-100.00

18 of 25



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150-55c 14 Avenue 1st Floor
Whitestone, NY 11357

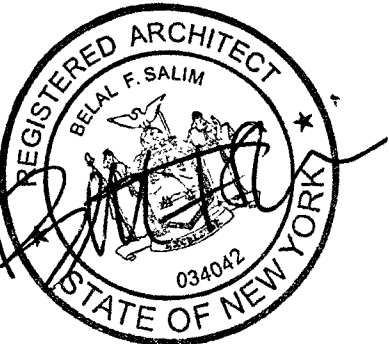
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SEAL



PROJECT LOCATION

129-24 Merrick Blvd
Jamaica NY, 11434

OWNER INFORMATION

129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432

DRAWING TITLE

Structural Plans
3rd-Upper Roof

DRAWN BY	CHECKED BY	JOB NO.	SCALE	AS SHOWN	DATE
	B. SALIM				10/29/18

NO.	DATE	REVISION

APPROVAL STAMPS

Devin Phillips

OCT 31 2019

EXAMINED FOR ZONING, EGRESS AND
FIRE PREVENTION ONLY, AS PER THIR 27

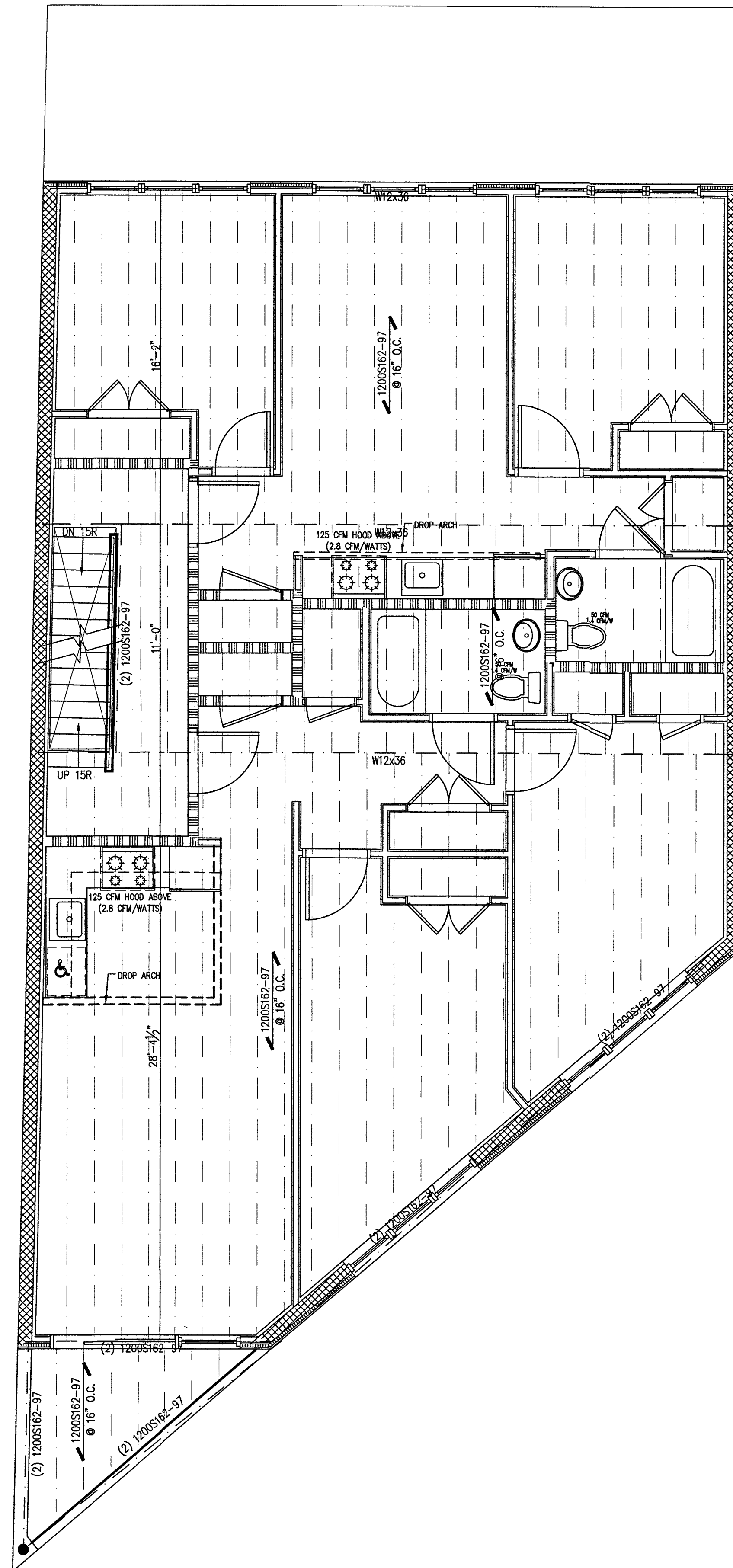
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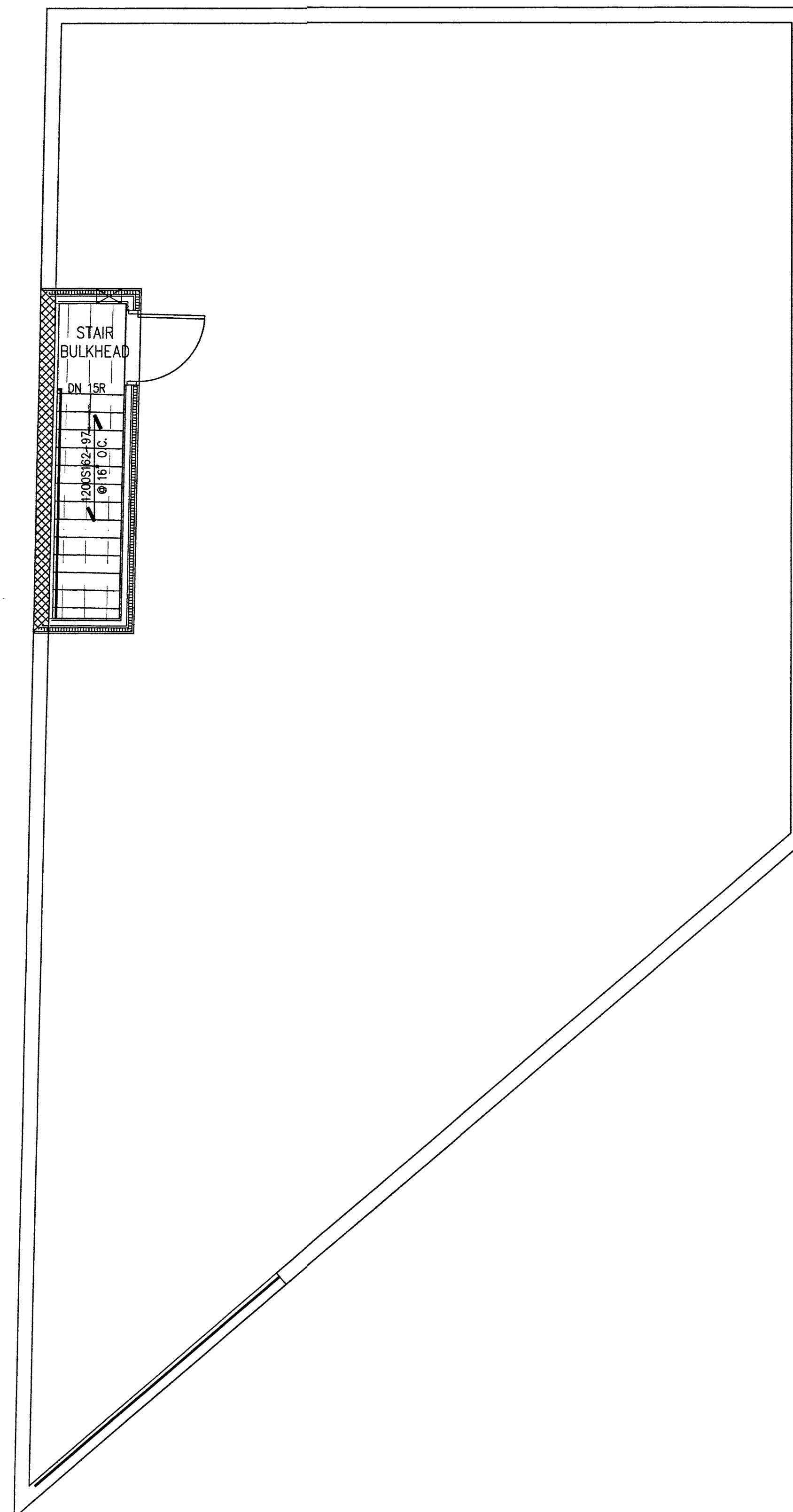
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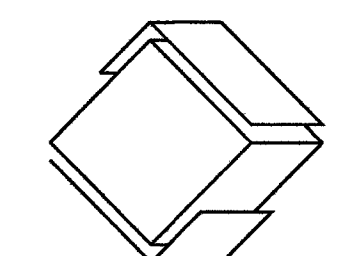
19 of 25



3rd & 4th TYPICAL FLOOR PLAN
SCALE: N.T.S



ROOF/BULKHEAD PLAN
SCALE: N.T.S



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SEAL



PROJECT LOCATION

129-24 Merrick Blvd
Jamaica NY, 11434

OWNER INFORMATION

129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432

DRAWING TITLE

Metal framing
structural details

DRAWN BY	CHECKED BY	JOB NO.	SCALE	AS SHOWN	DATE
	B. SALIM				10/29/18

NO.	DATE	REVISION

APPROVAL STAMPS

Devin Phillips

OCT 31 2019

EXAMINED FOR ZONING, EGRESS AND FIRE PREVENTION ONLY AS PER DIR. 275

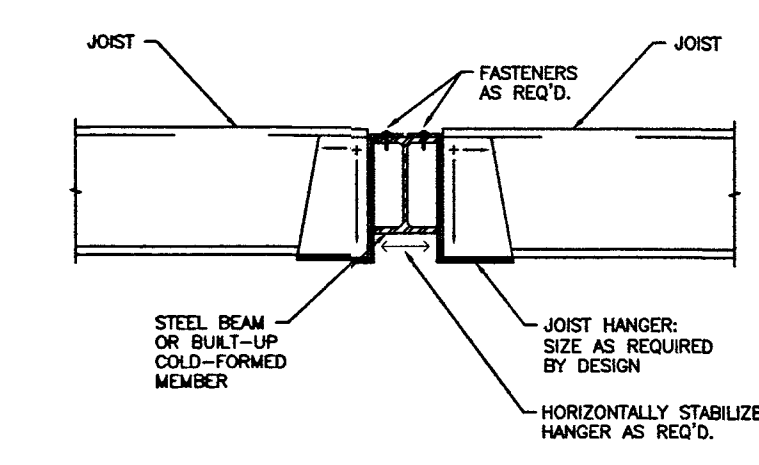
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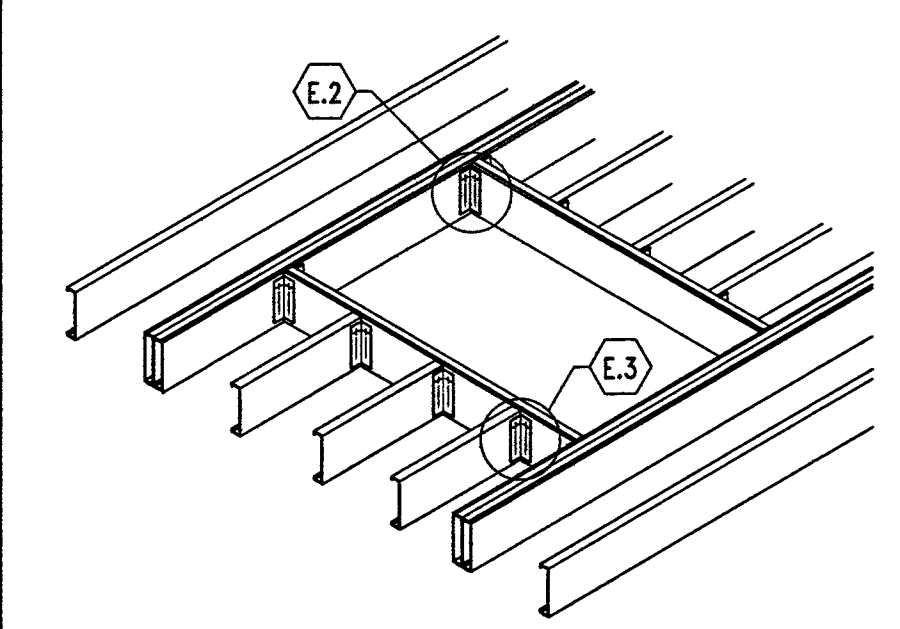
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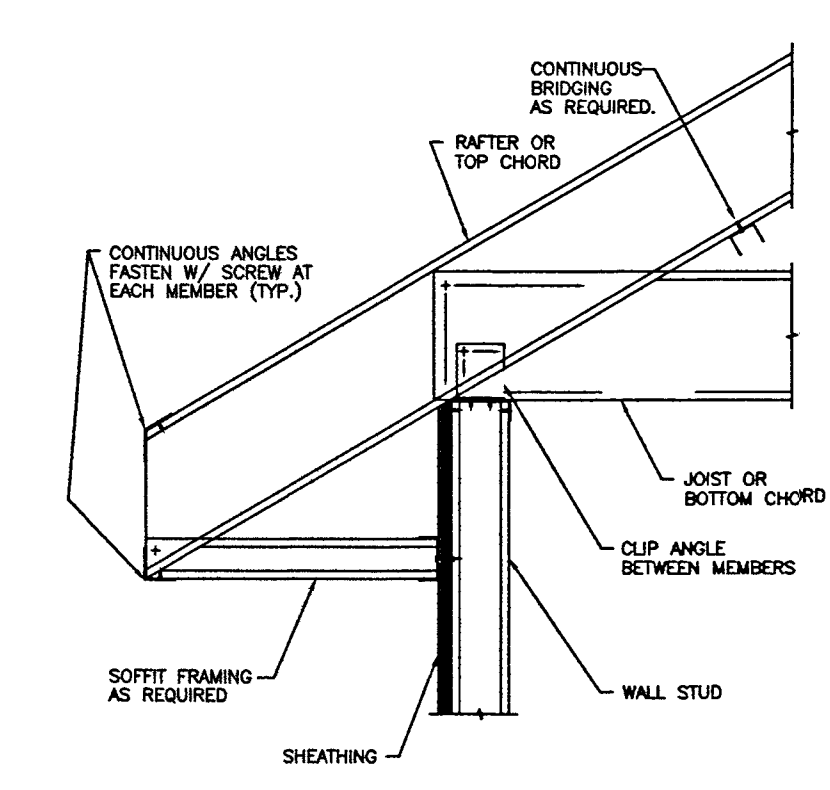
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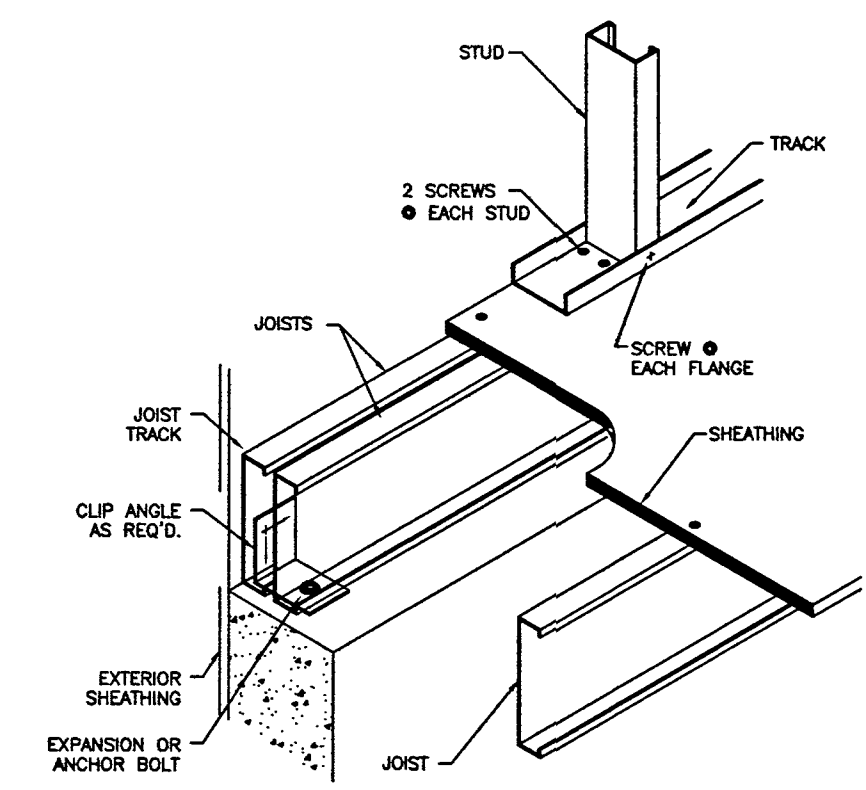
JOISTS SUPPORTED BY STEEL BEAM (UPSET SHALLOW BEAM) E.4



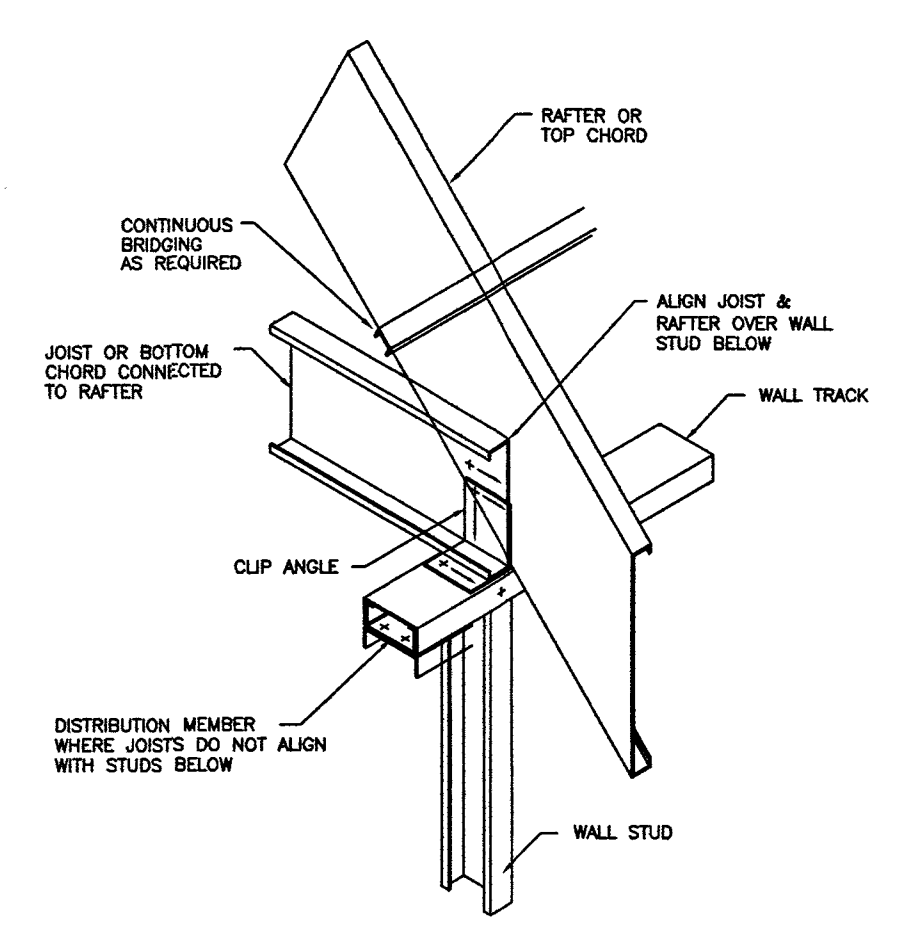
OPENING IN JOISTS/RAFTERS E.1



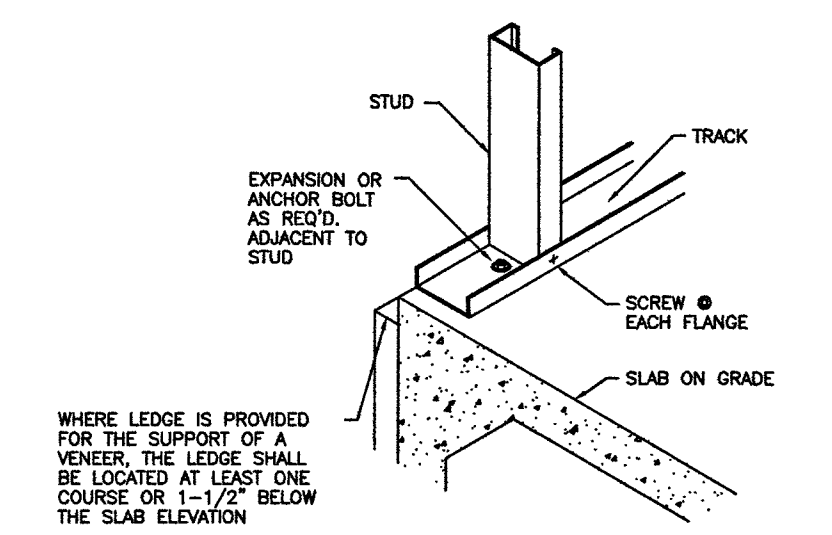
ROOF EAVE AND SOFFIT B.13



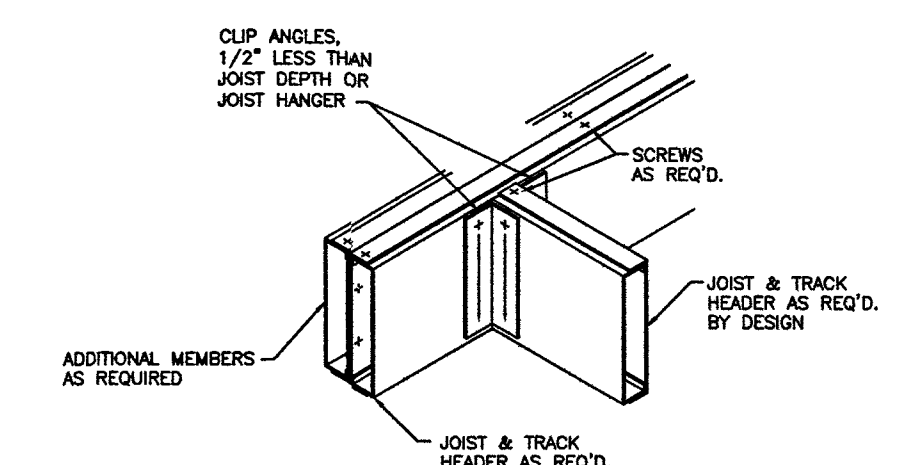
FLOOR JOISTS PARALLEL TO FOUNDATION B.3



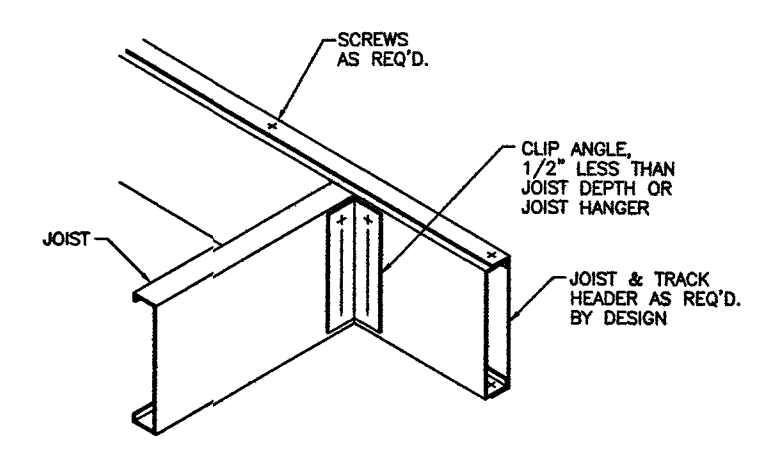
ROOF EAVE B.1



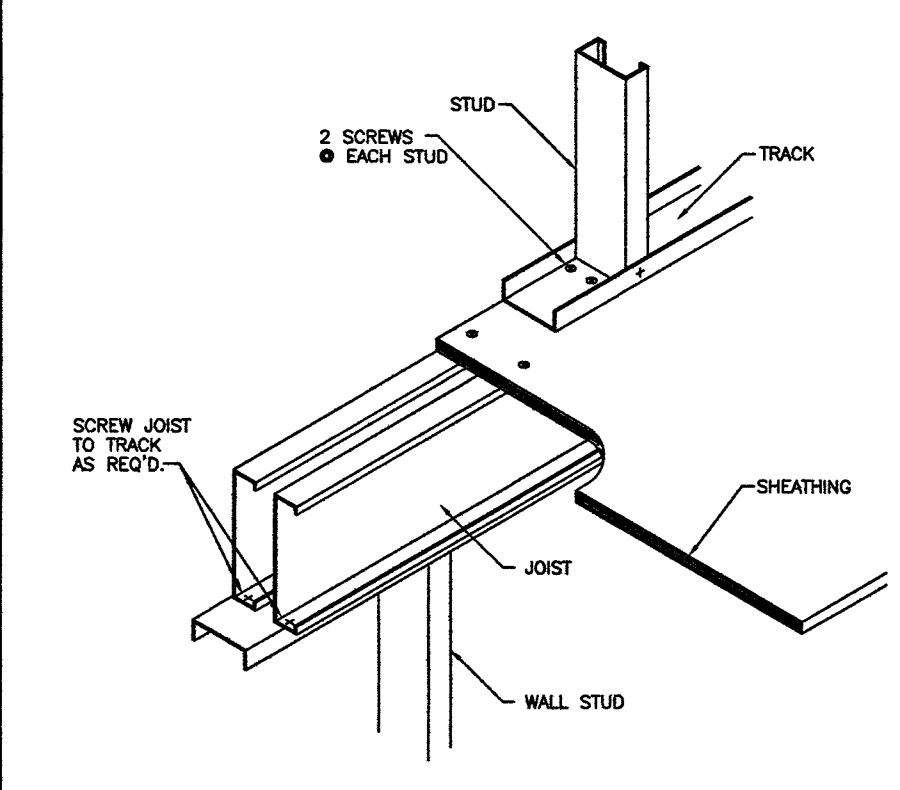
BASE OF WALL AT SLAB ON GRADE B.1



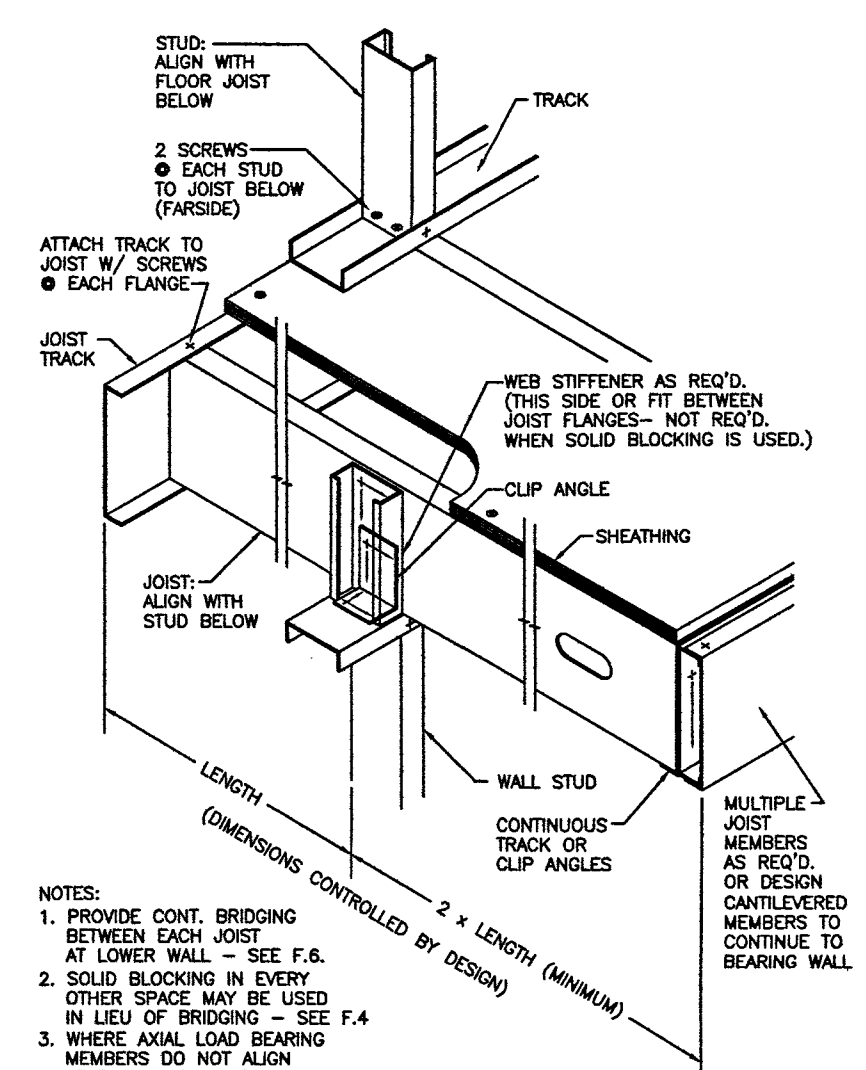
JOIST HEADER TO BUILT-UP JOISTS E.2



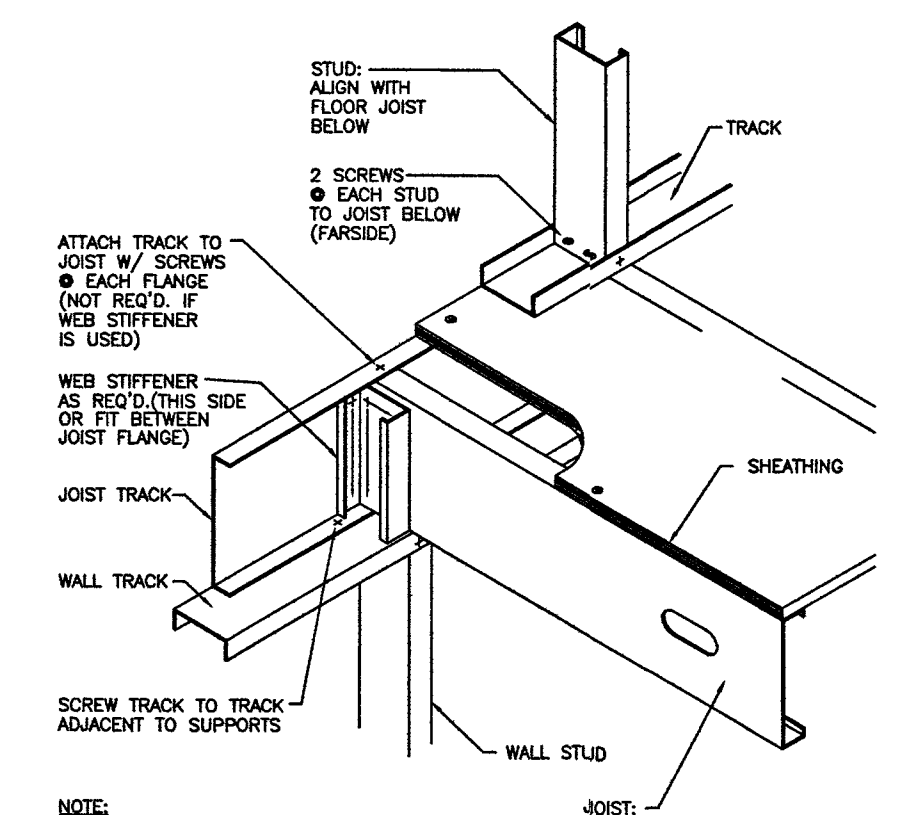
JOIST TO JOIST HEADER E.3



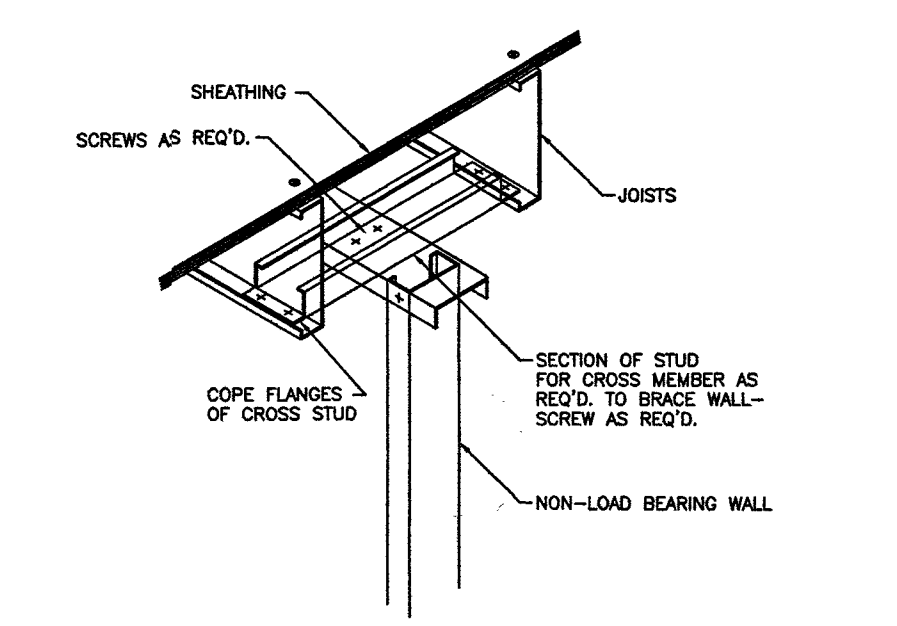
FLOOR JOISTS PARALLEL TO EXTERIOR WALL B.7



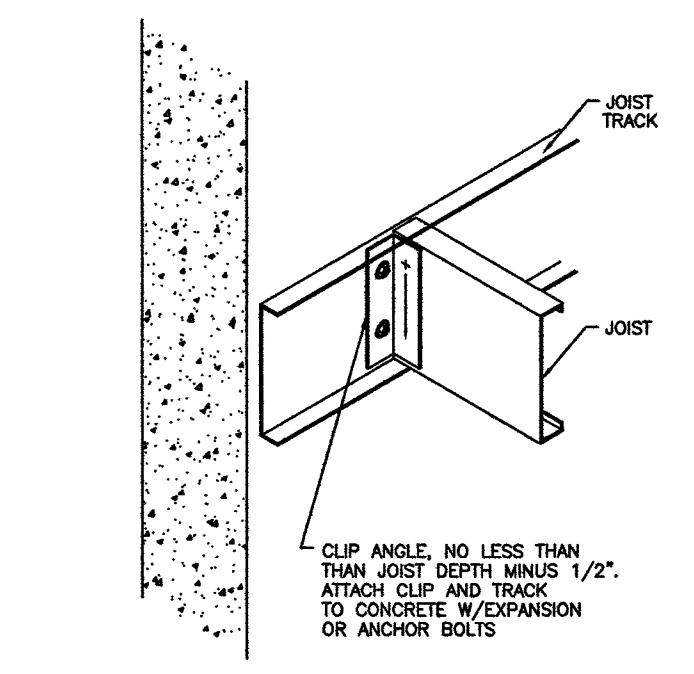
FLOOR CANTILEVER B.8



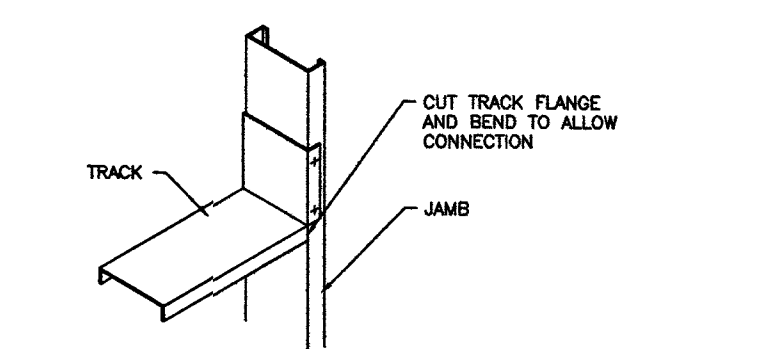
FLOOR FRAMING AT EXTERIOR WALL B.6



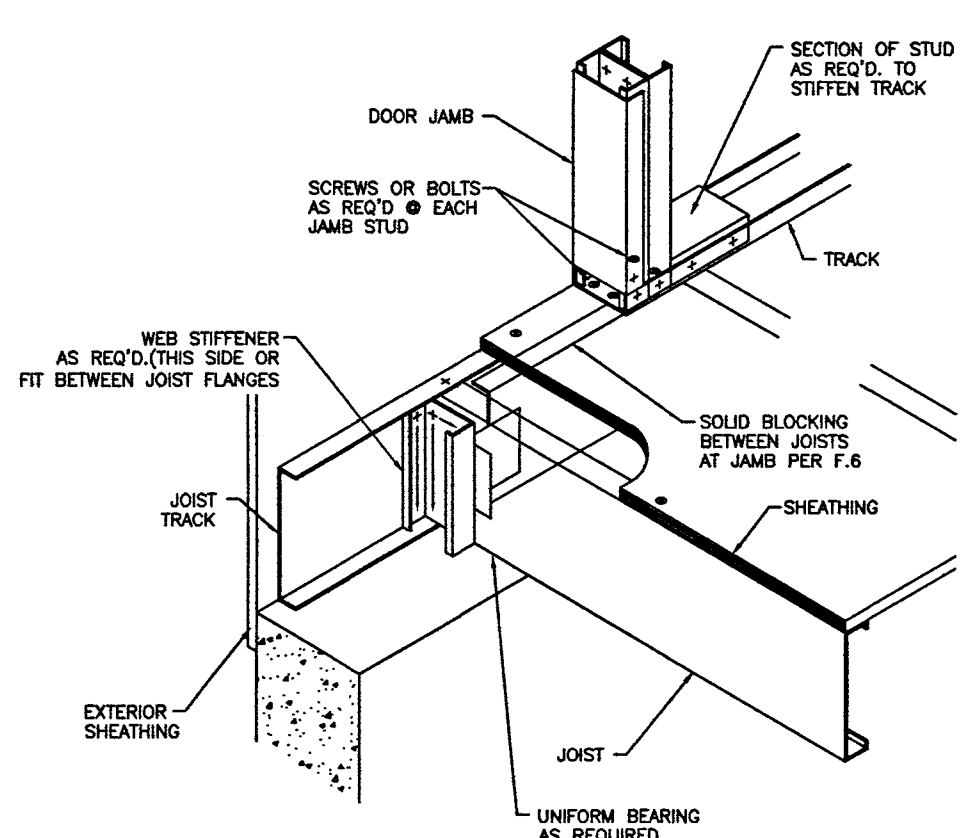
TOP OF NON-LOAD BEARING WALL PARALLEL TO JOISTS B.9



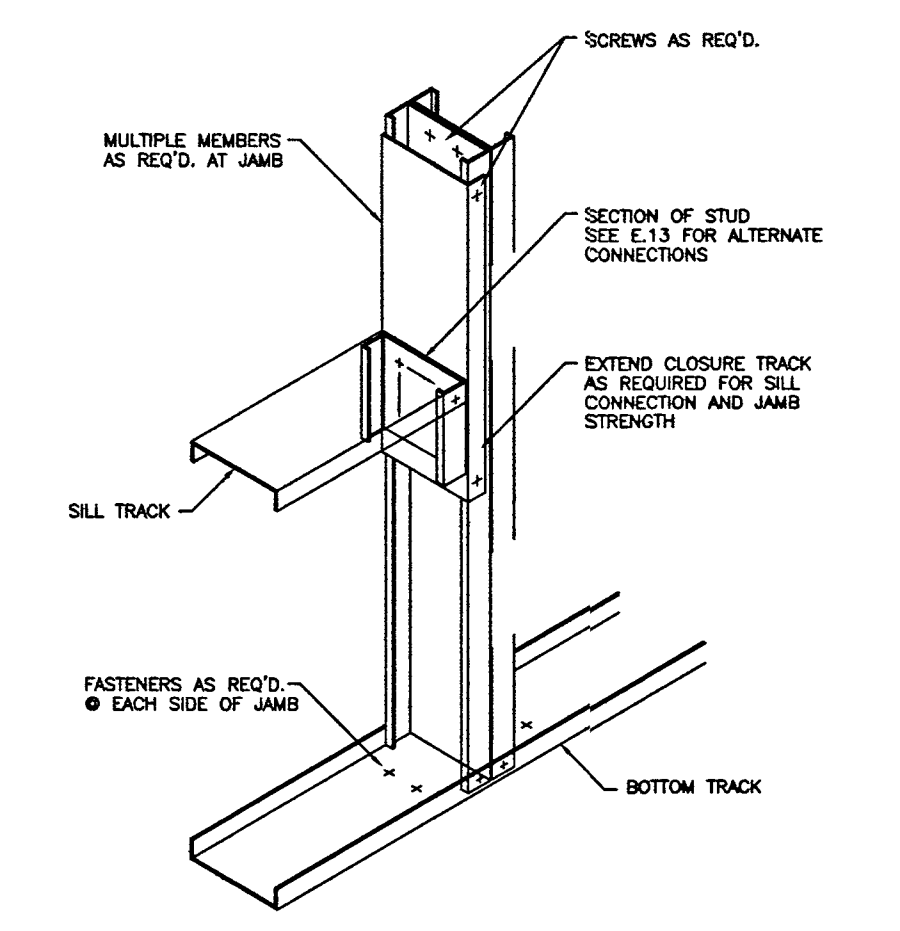
FLOOR JOIST SUPPORT AT CONTINUOUS WALL B.4



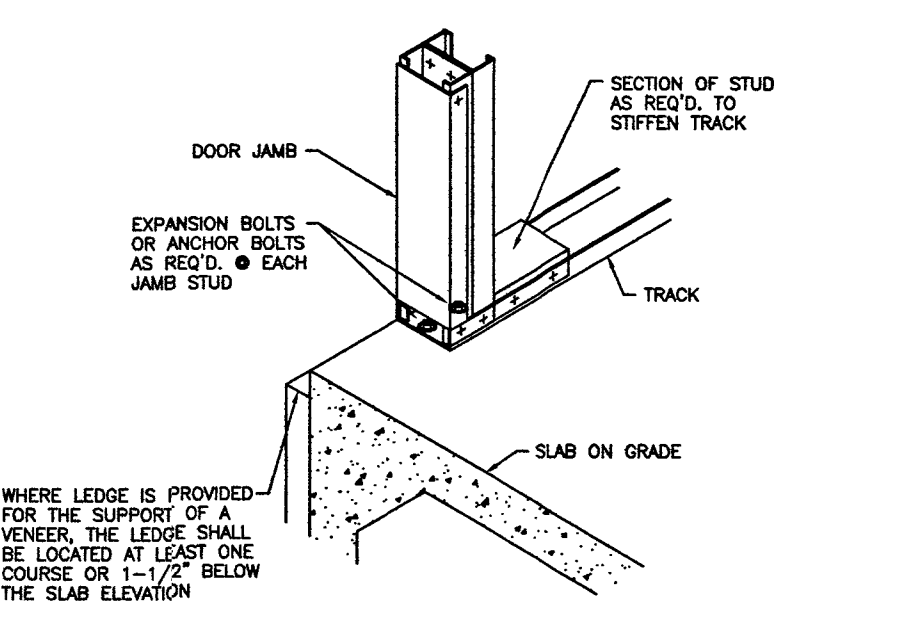
ALTERNATE HEADER BEAM CONNECTIONS E.12



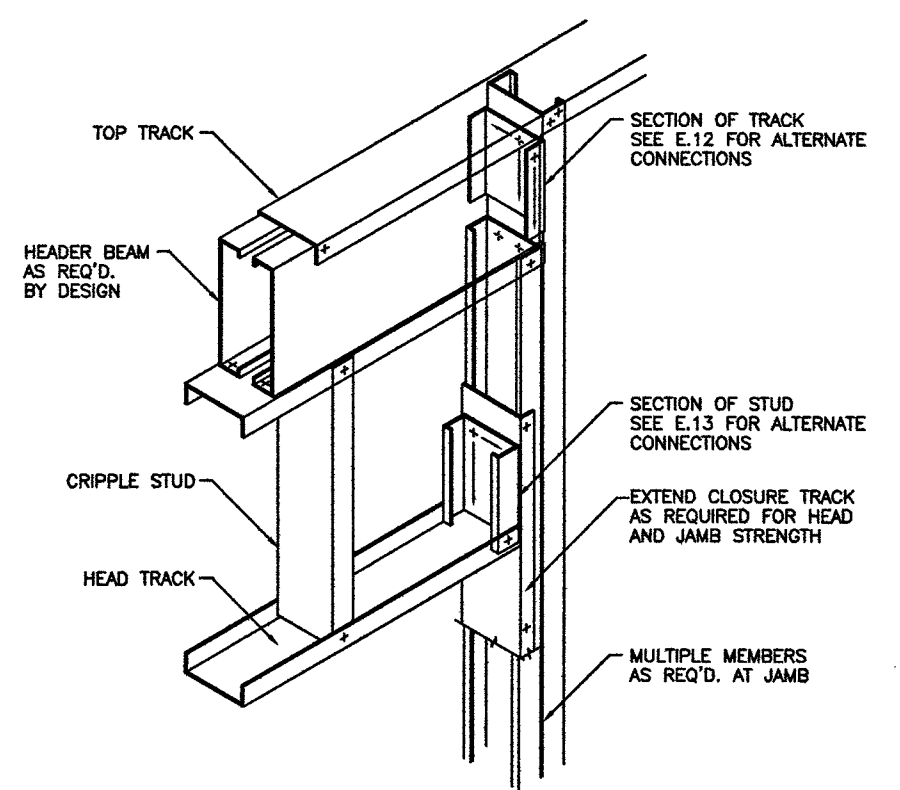
DOOR JAMB BASE AT FRAMING B.10



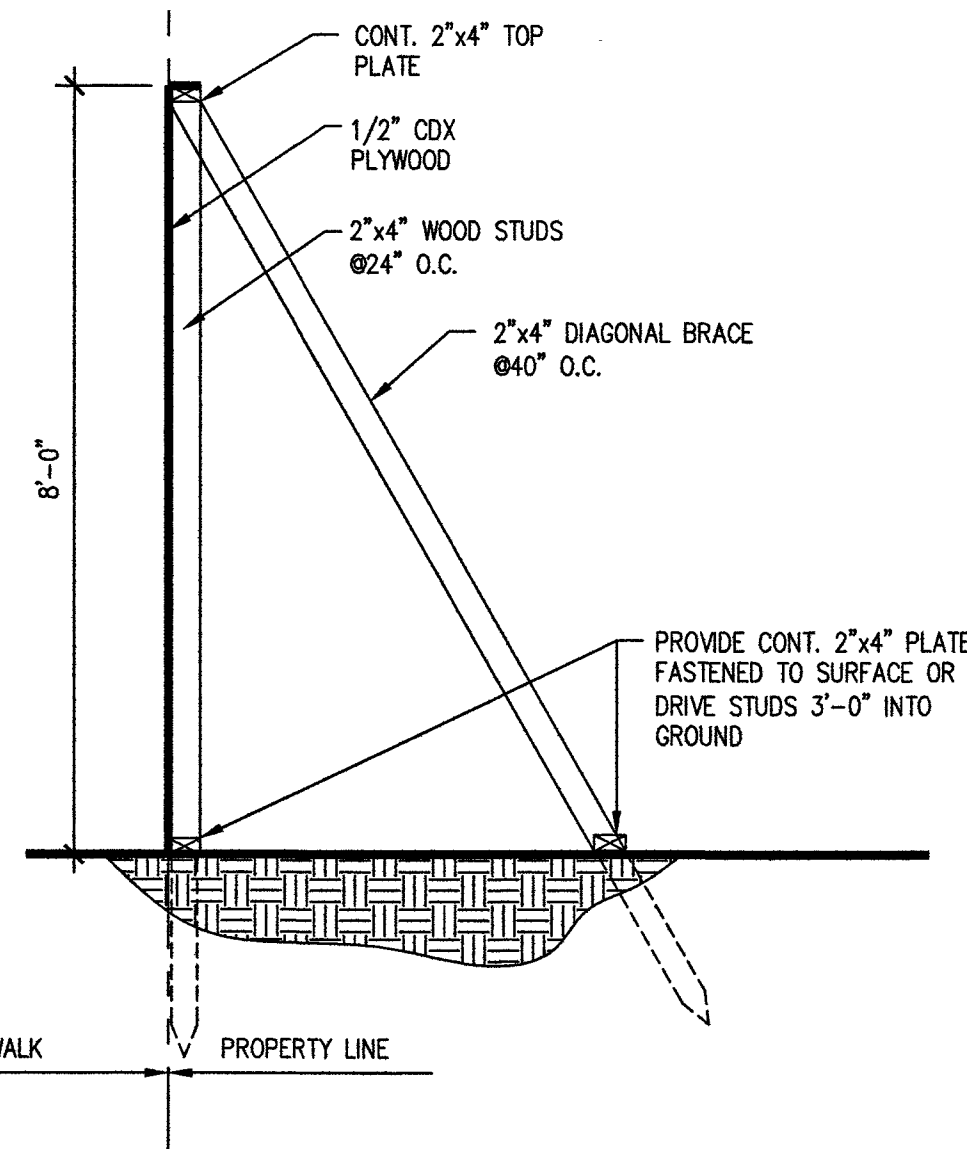
JAMB & SILL B.8



DOOR JAMB BASE AT SLAB ON GRADE B.11

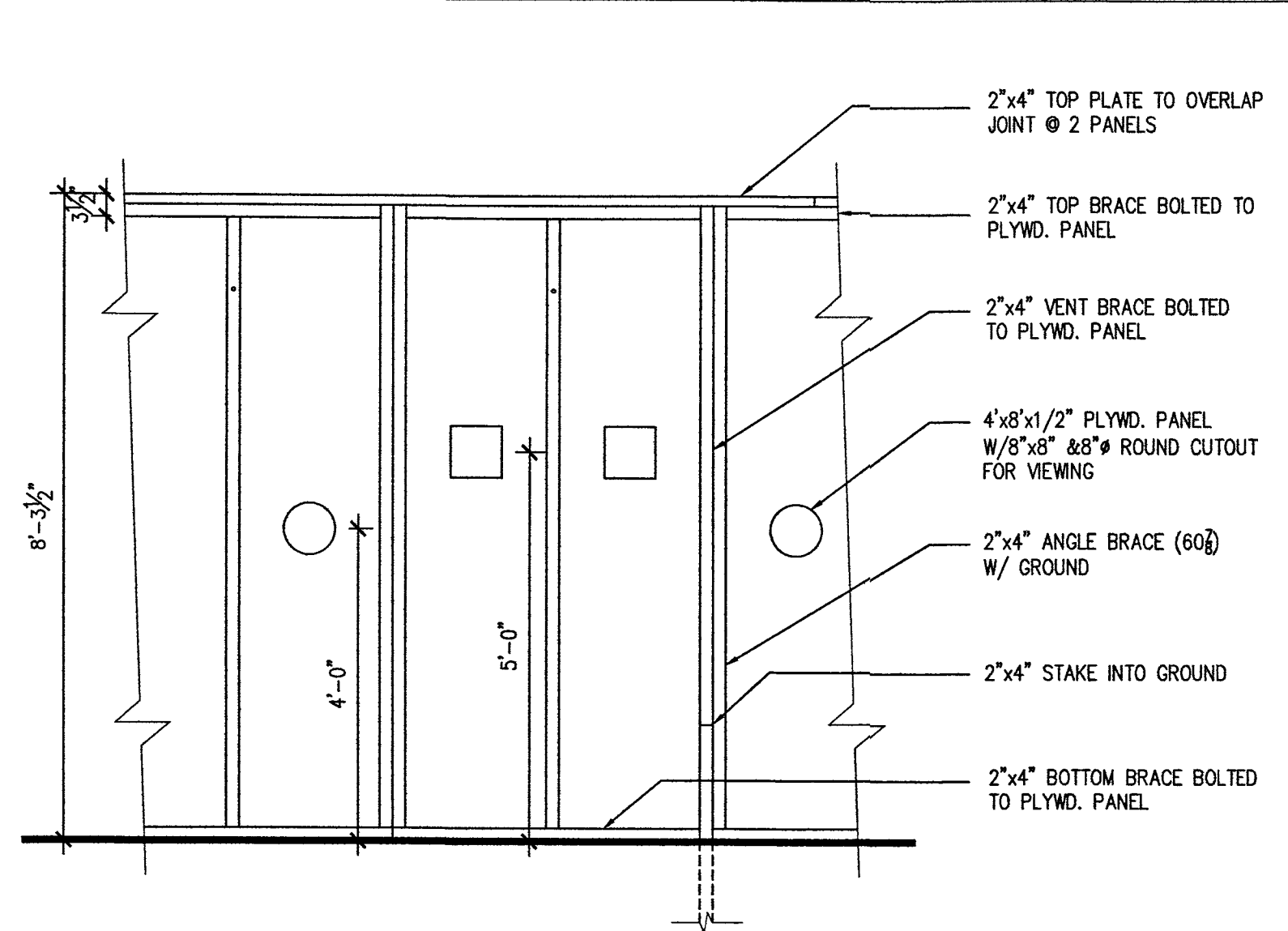


AXIAL LOAD BEARING JAMB & HEAD E.6 [<4'-0" (1.2m) OPENING WIDTH]

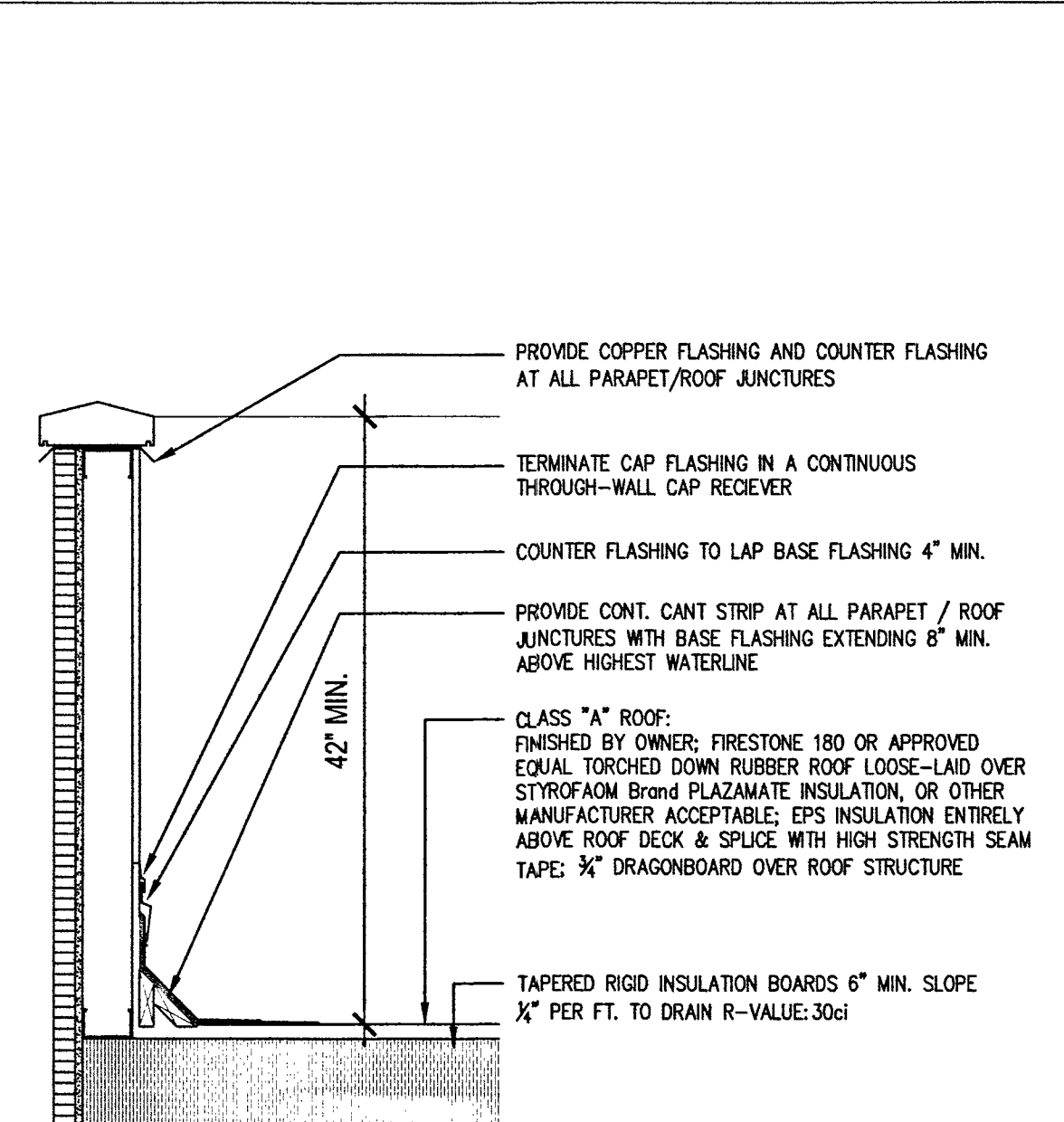


NOTES:
 1) FENCE TO BE INSTALLED ALONG THE EDGE OF PROPERTY LINE UNLESS A PERMIT IS OBTAINED FROM THE D.O.T. TO INSTALL THE FENCE BEYOND THE PROPERTY LINE.
 2) FENCE TO BE RETURNED AT ITS ENDS TO THE EXTENT NECESSARY TO EFFECTIVELY CLOSE OFF THE SITE.
 3) PROVIDE A 4'-0" AND 8'-0" WIDE OPENING FOR ACCESS TO THE SITE.
 4) FENCE TO BE SECURELY ANCHORED

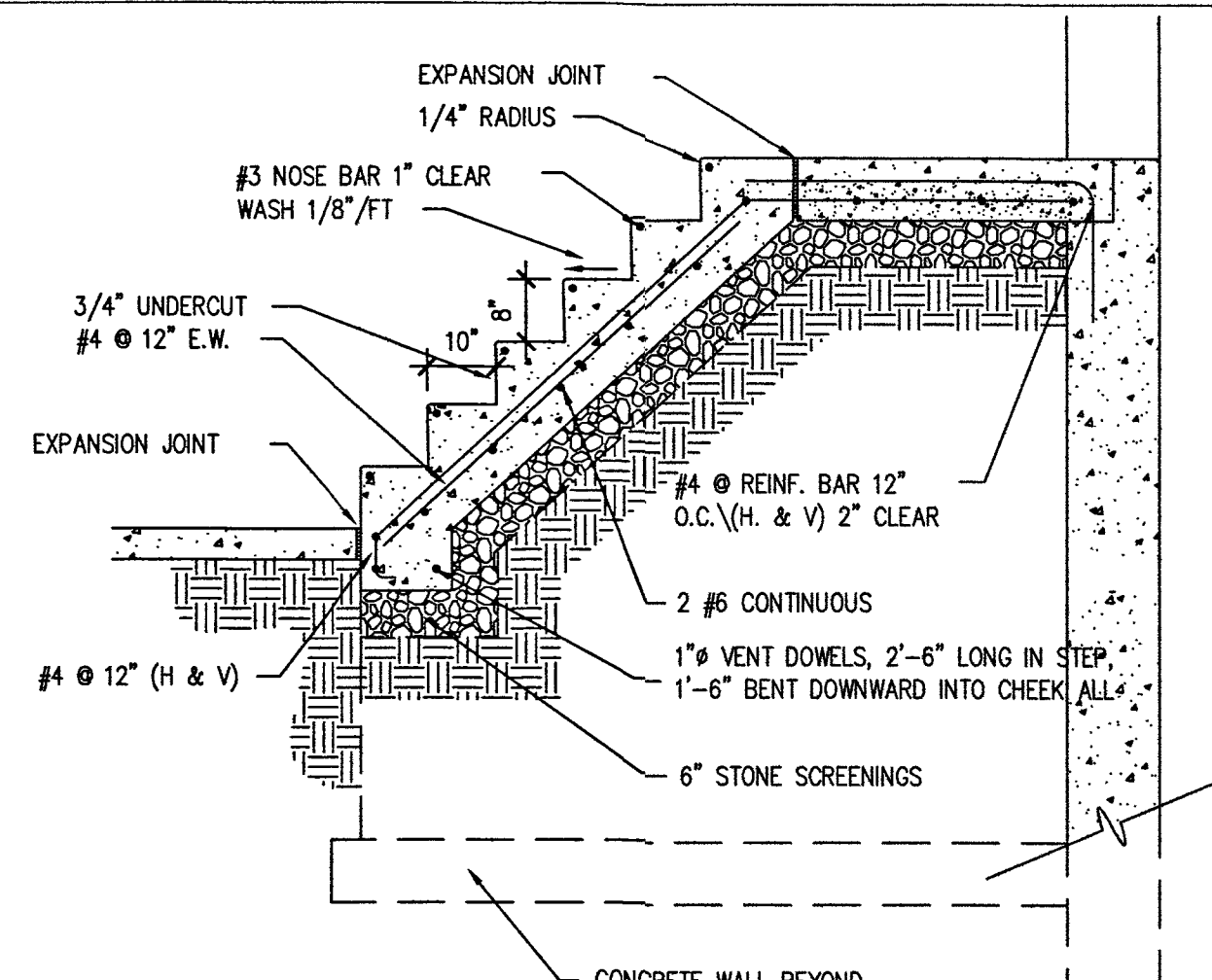
TEMP. CONSTRUCTION FENCE DETAIL
 SCALE: 1/4" = 1'-0"



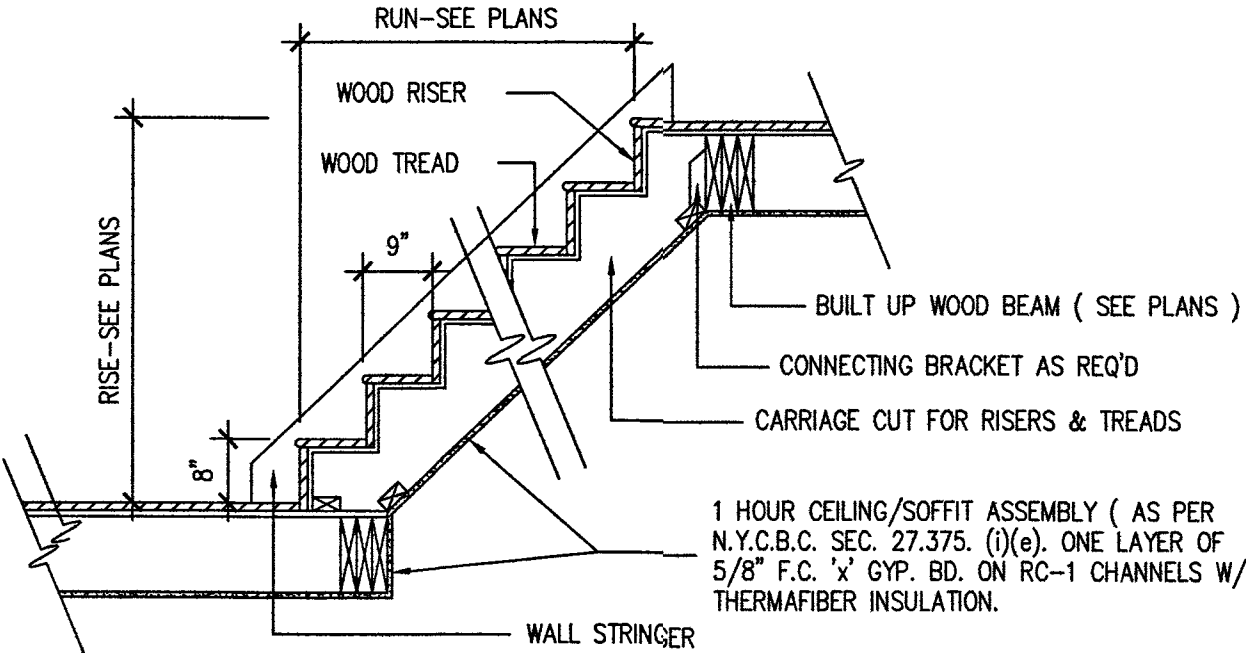
TEMP. CONSTRUCTION FENCE ELEVATION
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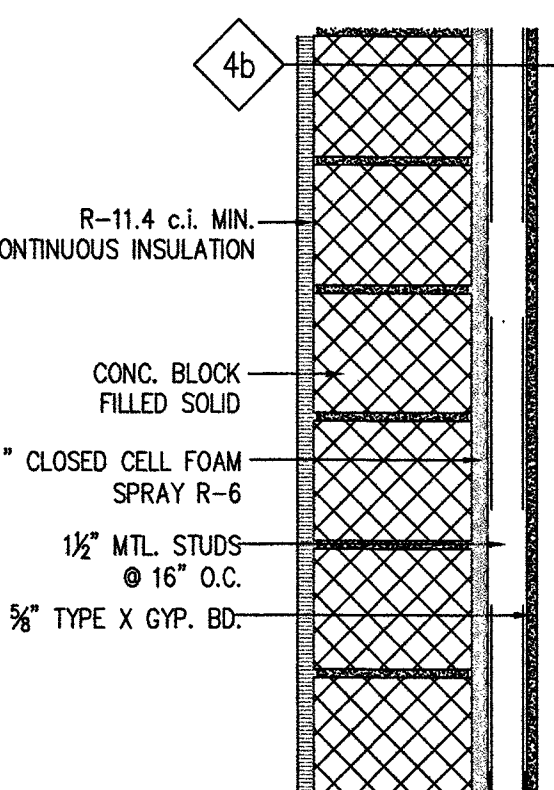
PARAPET/WALL ROOF
 SCALE: 1" = 1'-0"



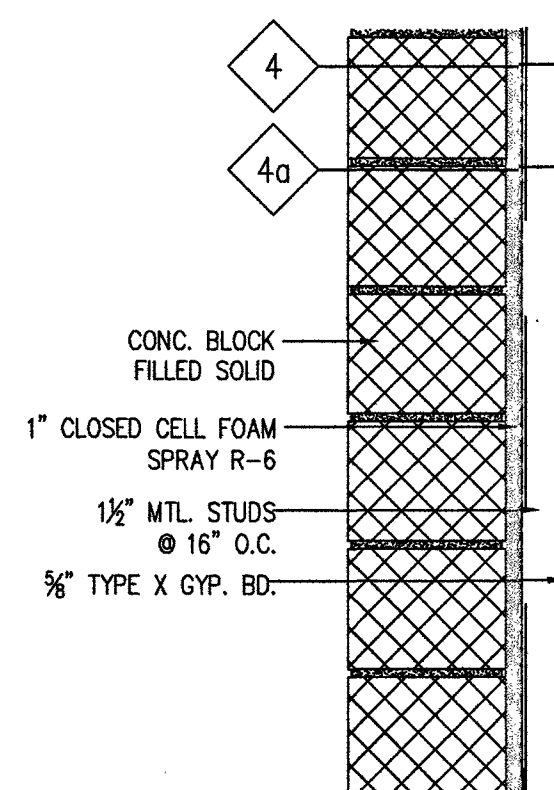
CONCRETE STAIR DETAIL
 SCALE: 1/2" = 1'-0"



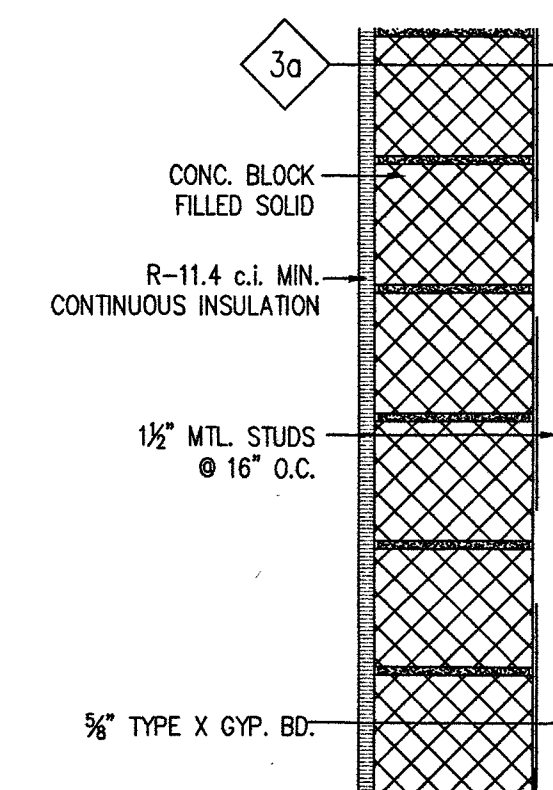
WOOD STAIR DETAIL
 SCALE: 1/2" = 1'-0"



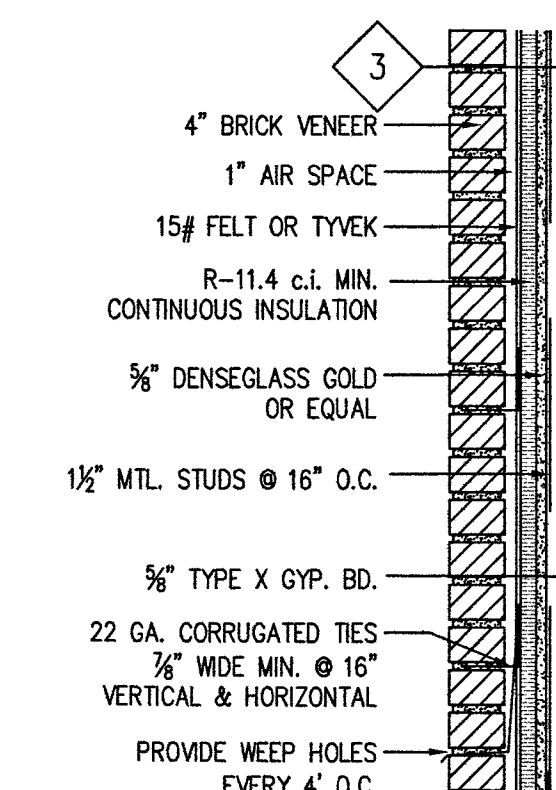
EXTERIOR WALL DETAIL
 SCALE: 1" = 1'-0"



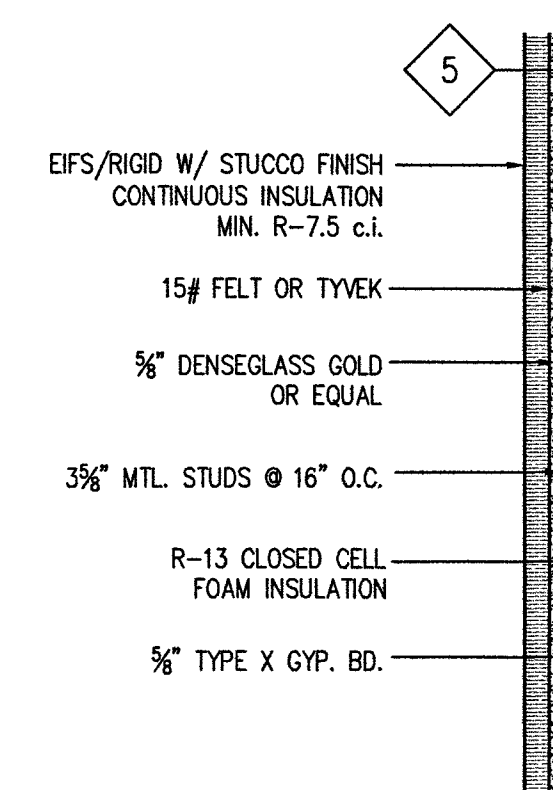
EXTERIOR WALL DETAIL
 SCALE: 1" = 1'-0"



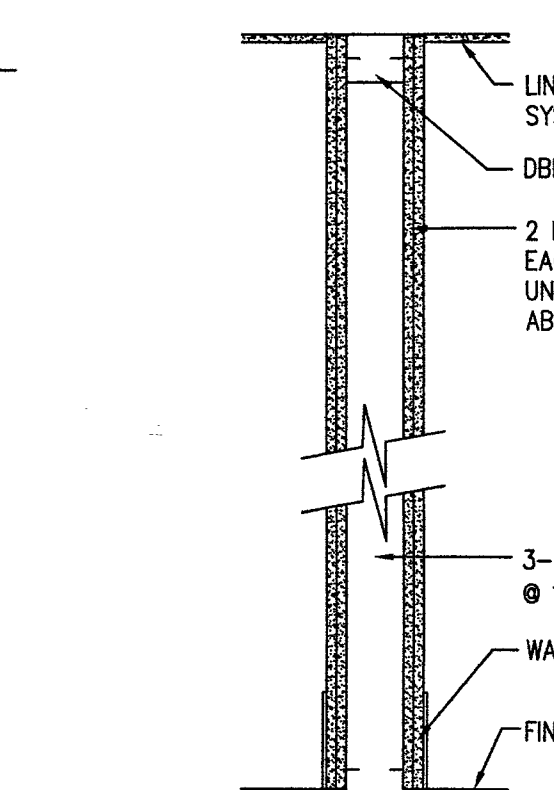
EXTERIOR WALL DETAIL
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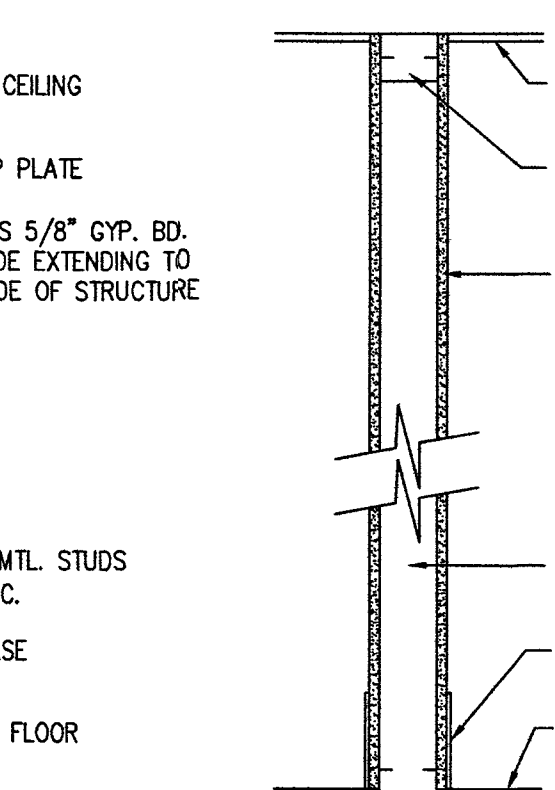
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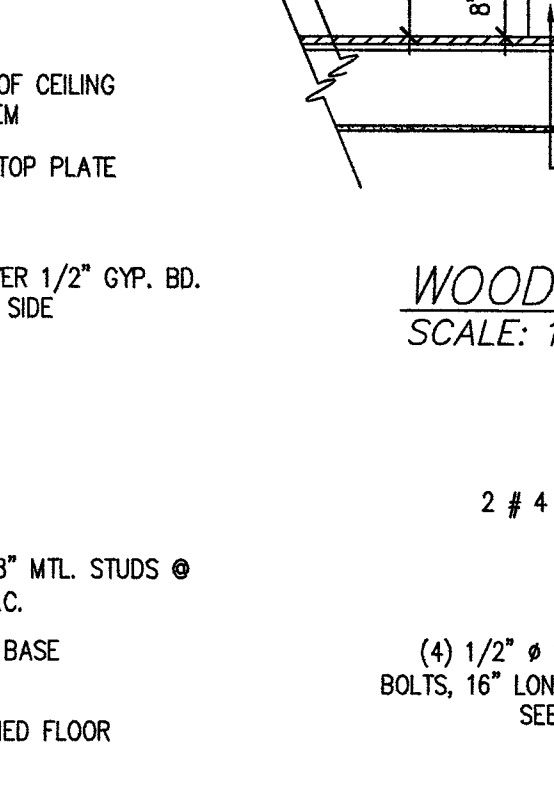
EXTERIOR WALL DETAIL
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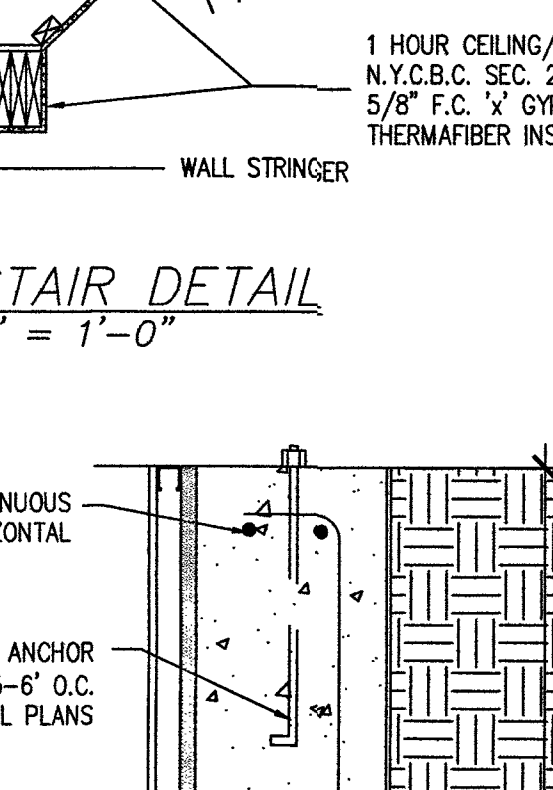
TWO-HR. RATED PART.
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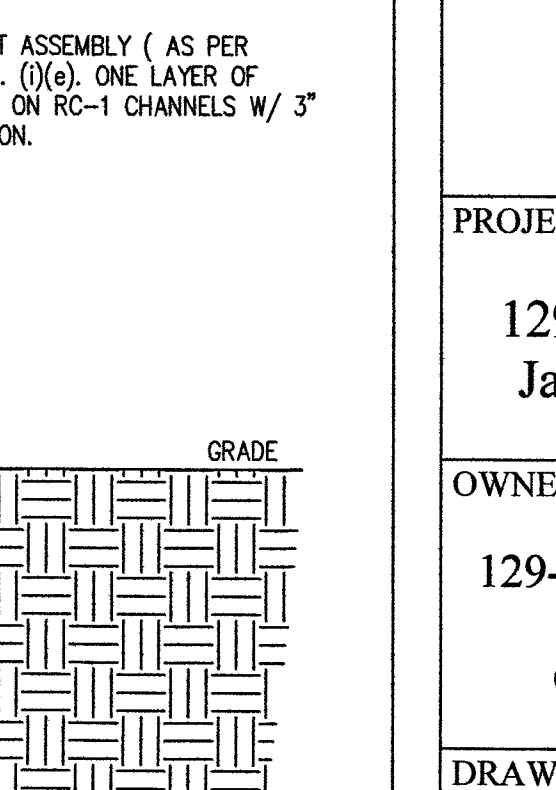
NON-RATED PARTITION
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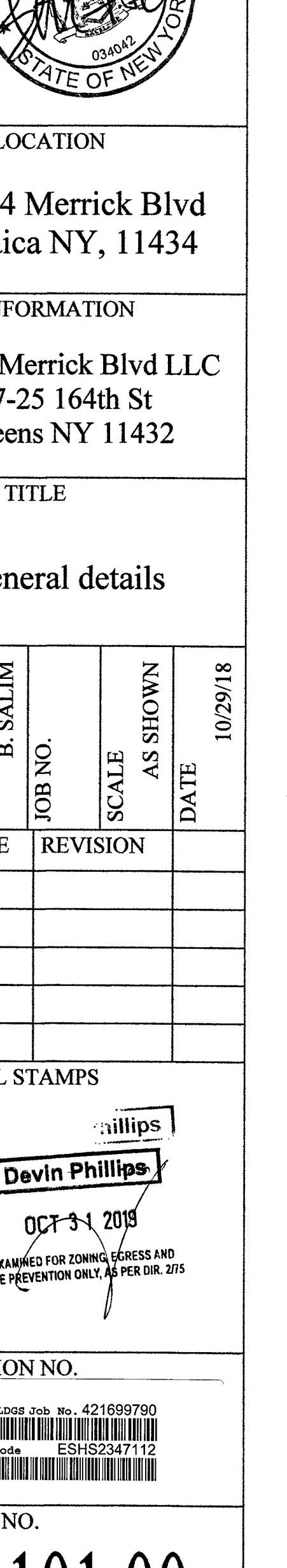
CONCRETE FLOOR SLAB DETAIL
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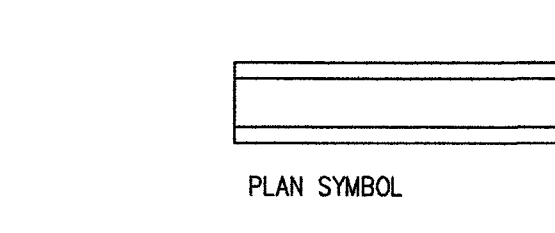
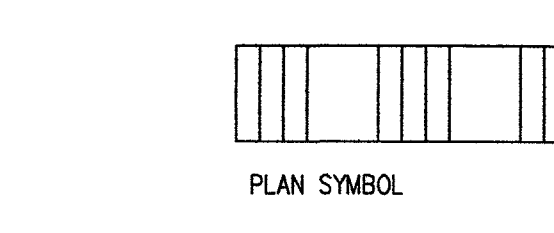
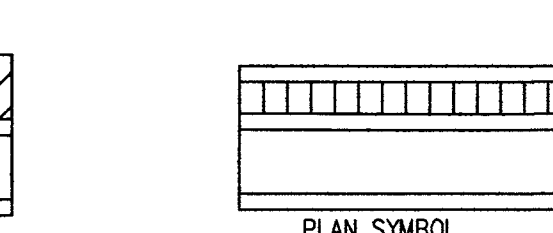
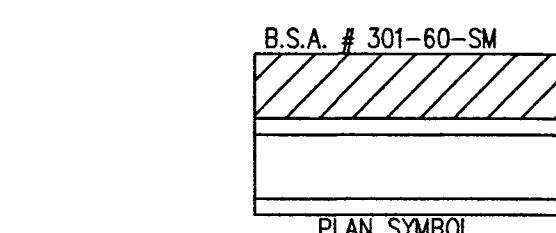
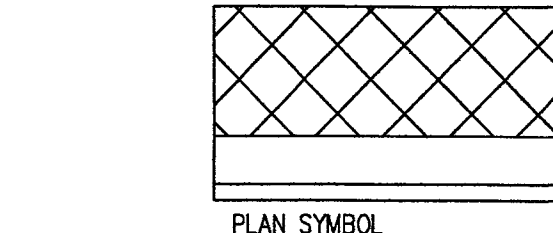
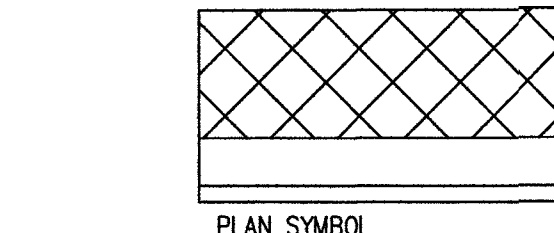
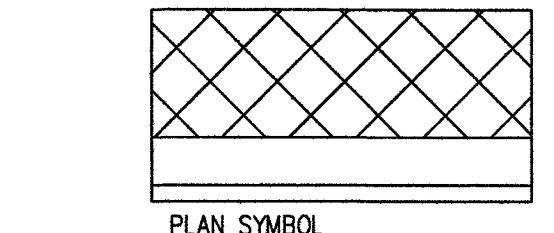
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NOSING DETAIL
 SCALE:



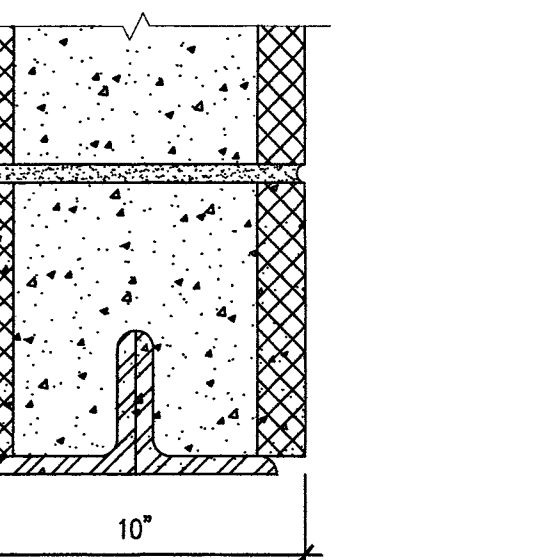
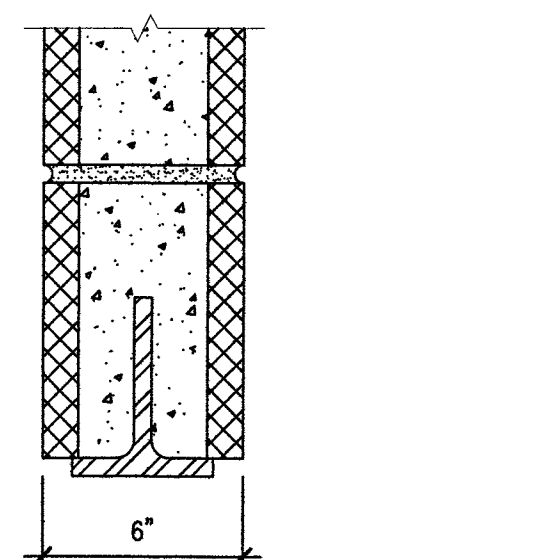
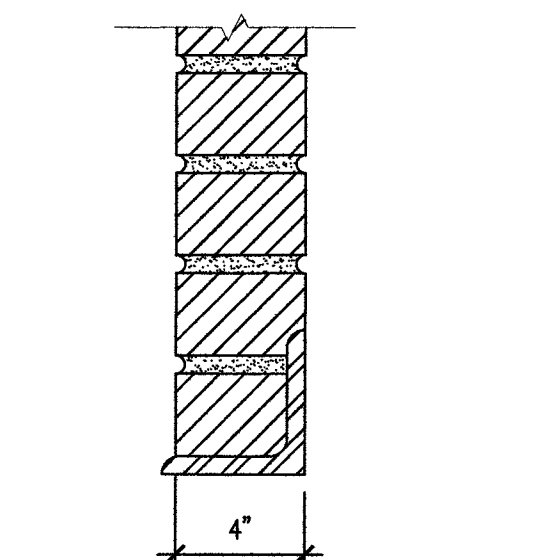
CONC. FOOTING DETAIL
 SCALE: 1" = 1'-0"



LINTEL SCHEDULE

CLEAR SPAN	4", 8", & 12" WALLS ONE ANGLE FOR EACH 4" WYTHE OF MASONRY	6" WALLS	10" WALLS
0'-8" TO 3'-4"	L 3 1/2" x 3 1/2" x 1/4"	WT5 x 5.75	2LS 4" x 4" x 1/4"
3'-5" TO 5'-4"	L 4" x 3 1/2" x 1/4"	WT5 x 5.75	2LS 4" x 4" x 3/8"
5'-5" TO 7'-4"	L 5" x 3 1/2" x 1/4"	WT7 x 11	2LS 6" x 4" x 1/4"
7'-5" TO 10'-0"	L 9" x 4" x 1/2"	WT7 x 13	2LS 6" x 4" x 3/8"

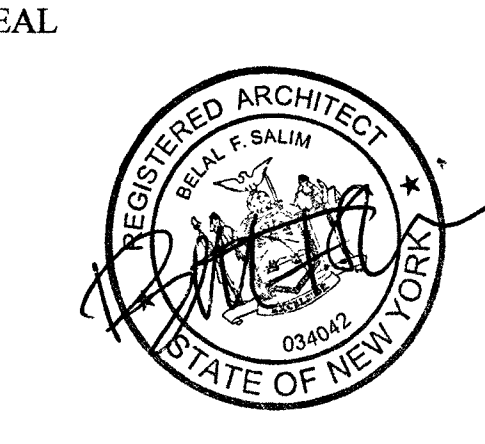
TYPICAL DETAILS



(A) WYTHE (B) MASONRY WALL (C) MASONRY WALL

BFS Architect P.C.
 150-55c 14 Avenue 1st Floor
 Whitestone, NY 11357
 Tel: (718) 701-5959
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PROJECT LOCATION
 129-24 Merrick Blvd
 Jamaica NY, 11434

OWNER INFORMATION
 129-24 Merrick Blvd LLC
 77-25 164th St
 Queens NY 11432

DRAWING TITLE
 General details

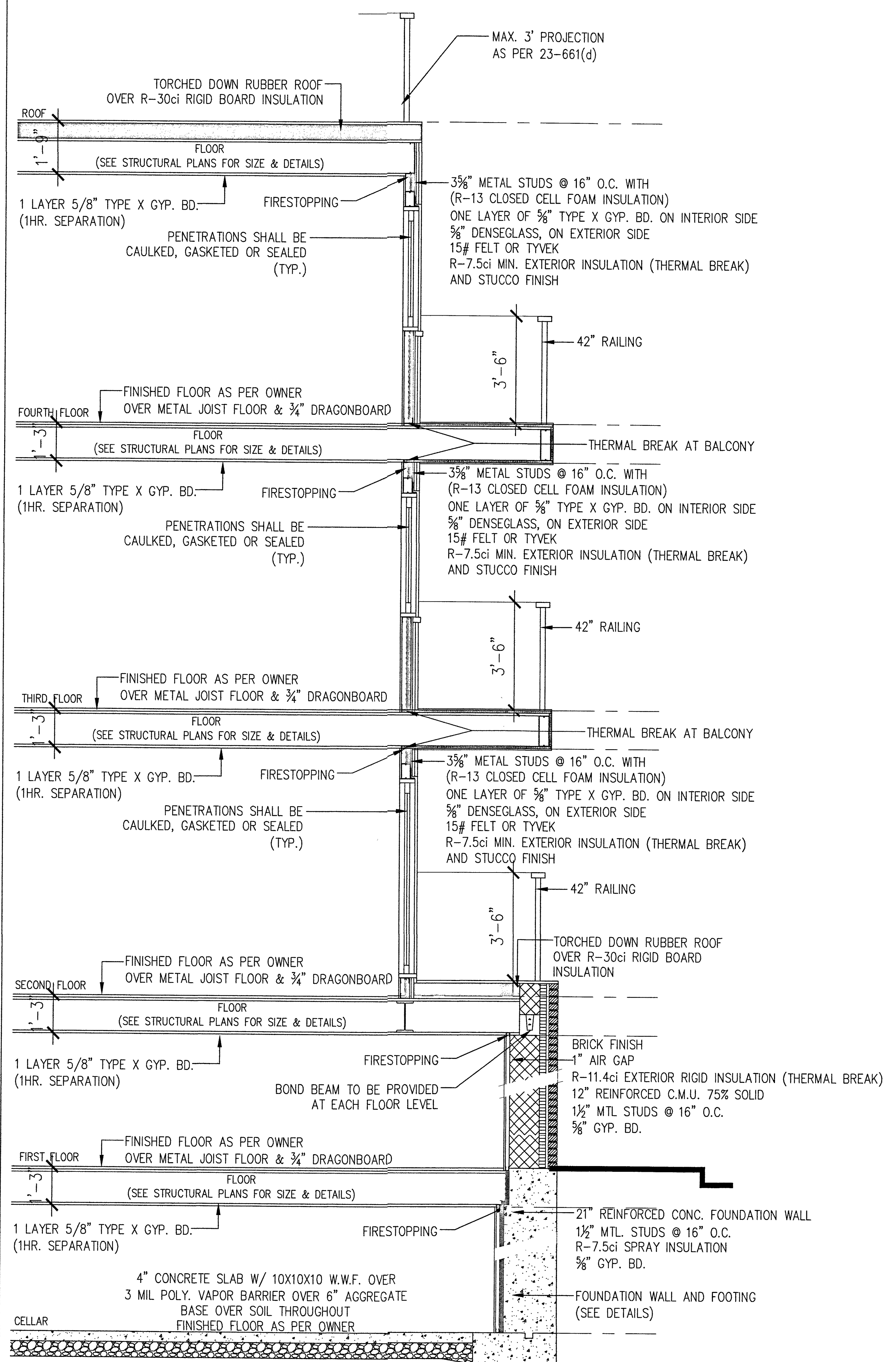
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NO.	DATE	REVISION

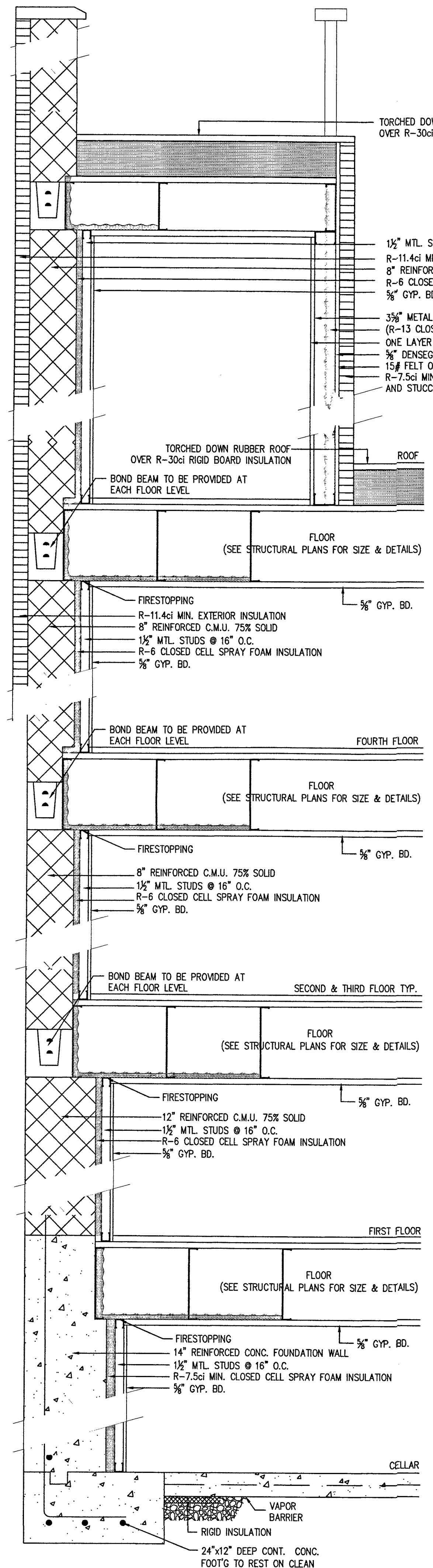
APPROVAL STAMPS
 Devin Phillips
 OCT 31 2019
 EXAMINED FOR ZONING, EGRESS AND FIRE PREVENTION ONLY, AS PER DIR. 2015

APPLICATION NO.
 DEPT. BUILDING Job No. 421699790
 Scan Code ESHS2347112

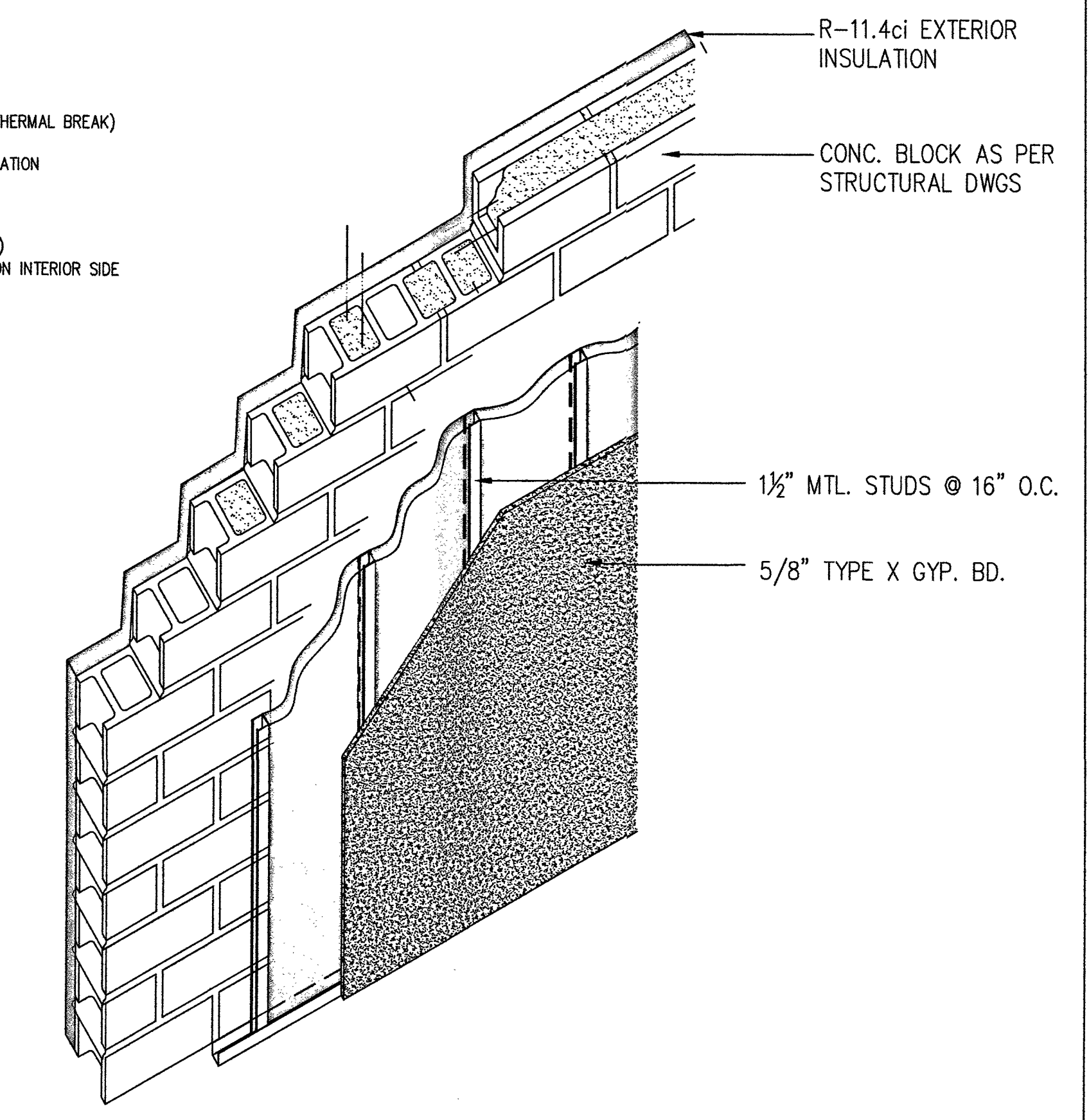
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G-101.00
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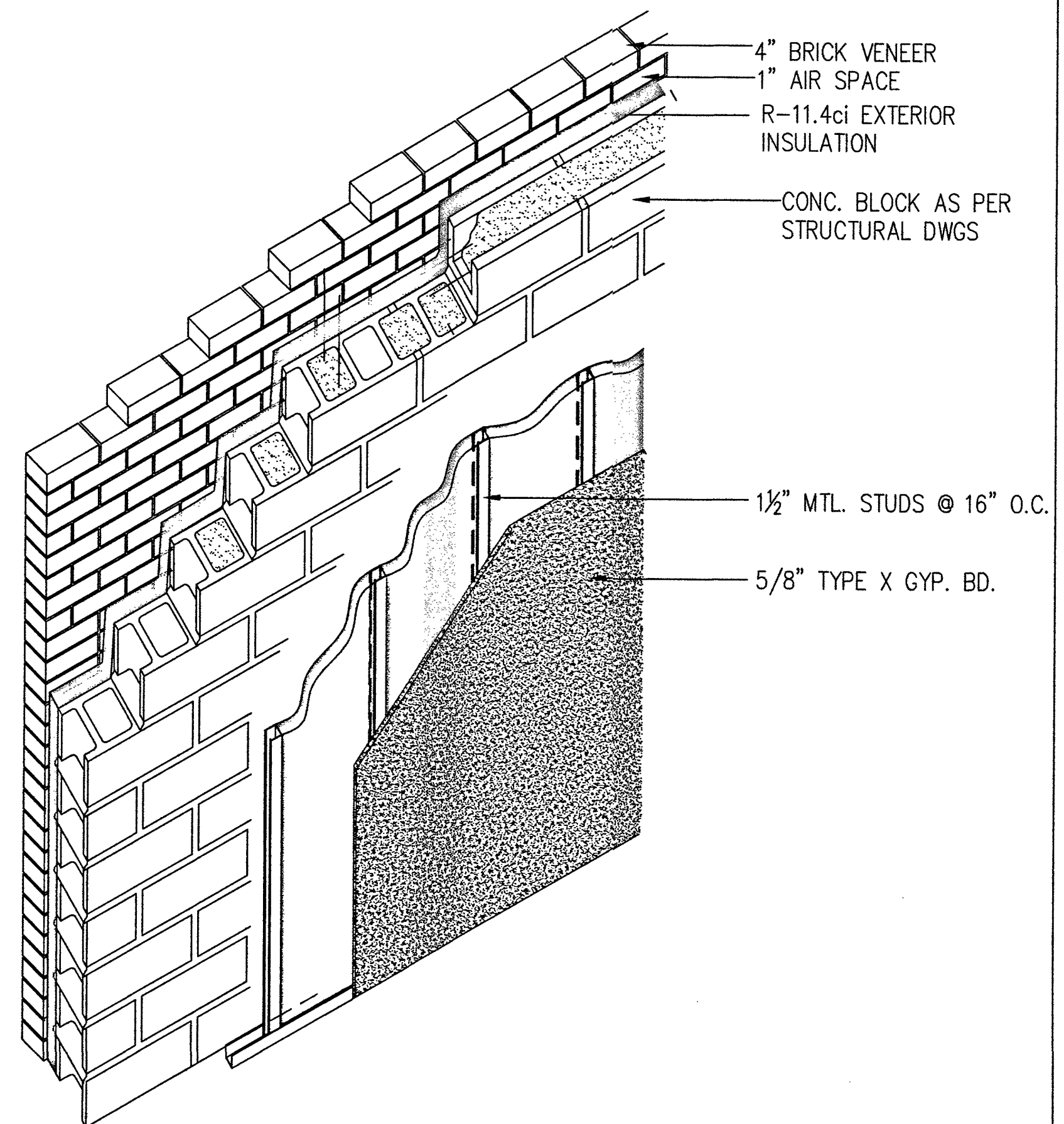
FRONT WALL DETAIL
SCALE: 1/2" = 1'-0"



INDEPENDENT WALL DETAIL @ SIDES
SCALE: 1" = 1'-0"



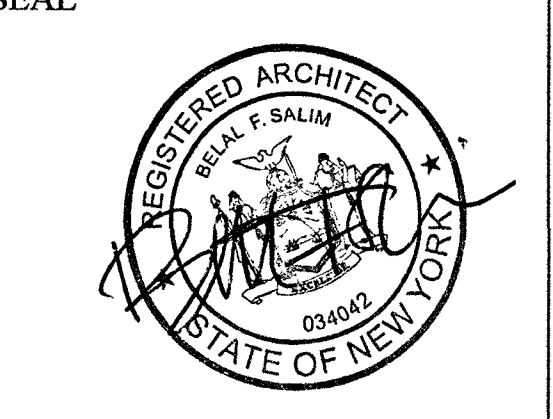
2-4TH TYP. EXTERIOR FRONT WALL DETAIL
SCALE: 3/4" = 1'-0"



1ST FLOOR EXTERIOR FRONT WALL DETAIL
SCALE: 3/4" = 1'-0"


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PROJECT LOCATION
129-24 Merrick Blvd
Jamaica NY, 11434


OWNER INFORMATION
129-24 Merrick Blvd LLC
77-25 164th St
Queens NY 11432

DRAWING TITLE
Wall Details

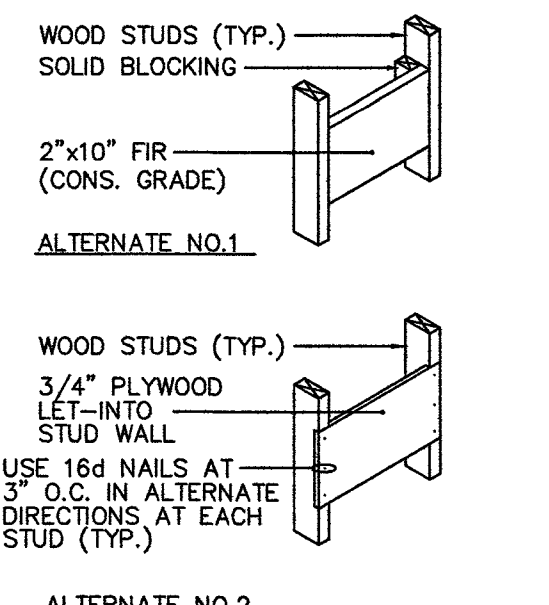
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	B. SALIM				10/29/18

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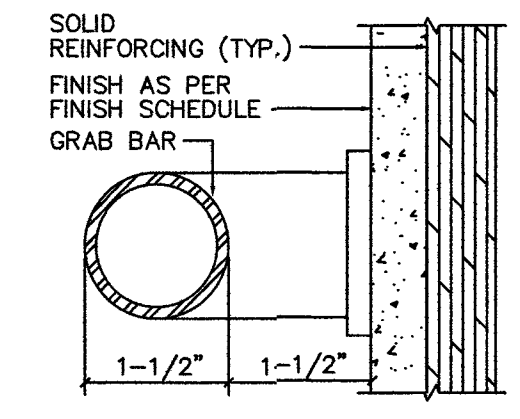
APPROVAL STAMPS

OCT 31 2018
EXAMINED FOR ZONING, EGRESS AND FIRE PREVENTION ONLY AS PER DIR. 2015

APPLICATION NO.


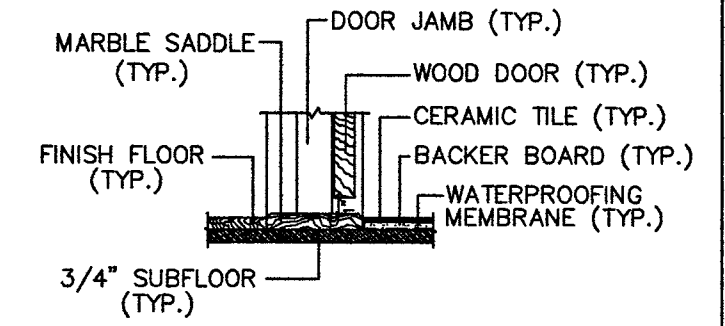
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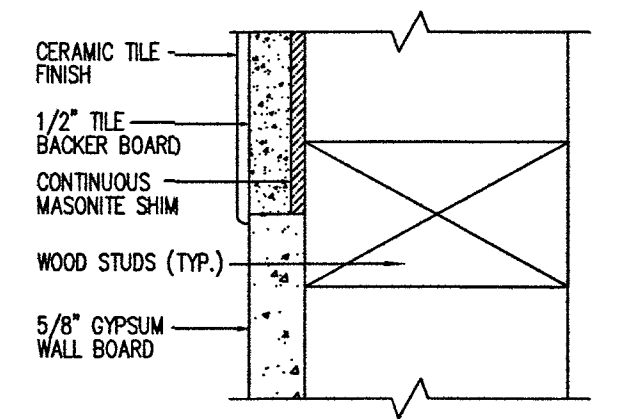
1 WALL REINFORCING DETAILS N.T.S.



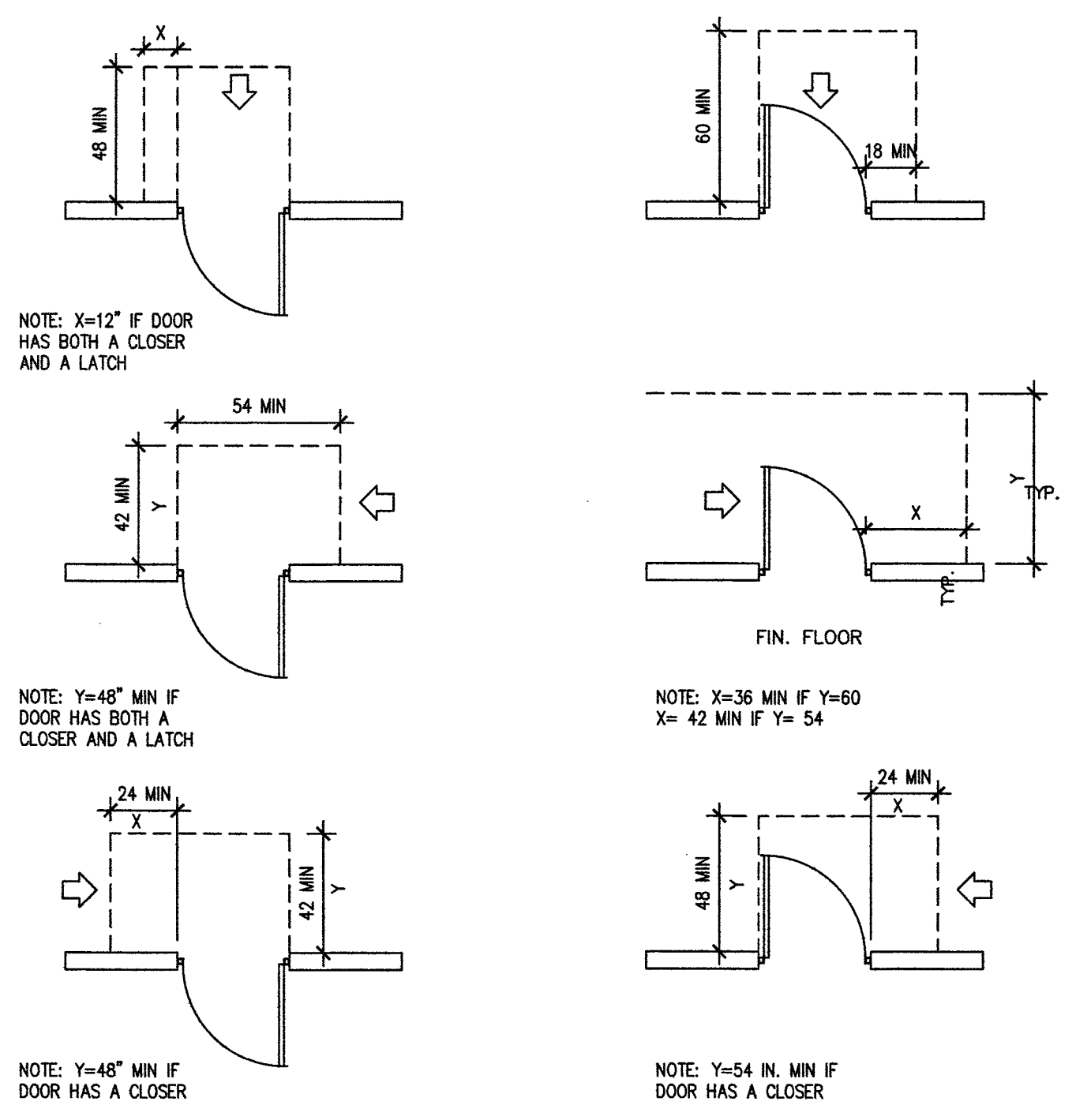
2 GRAB BAR DETAIL N.T.S.



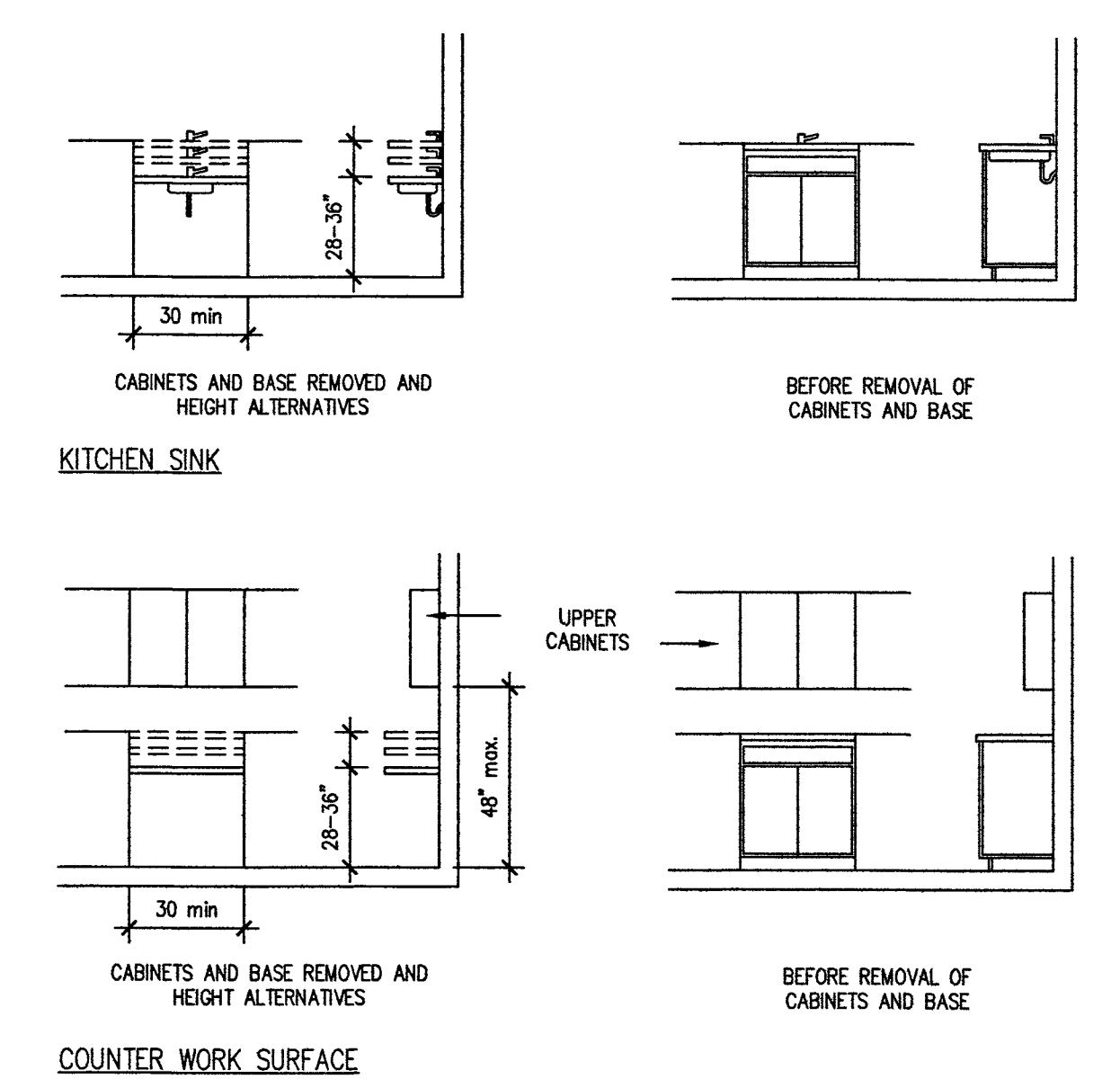
3 SECTION AT MARBLE SADDLE N.T.S.



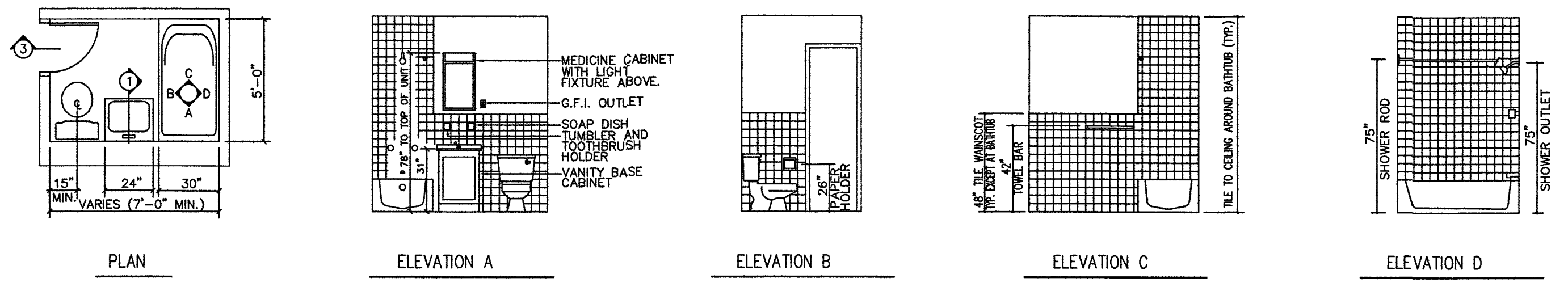
4 TYPICAL SECTION @ VERTICAL JOINT BETWEEN TILE BACKER BOARD AND GYPSUM WALL BOARD N.T.S.



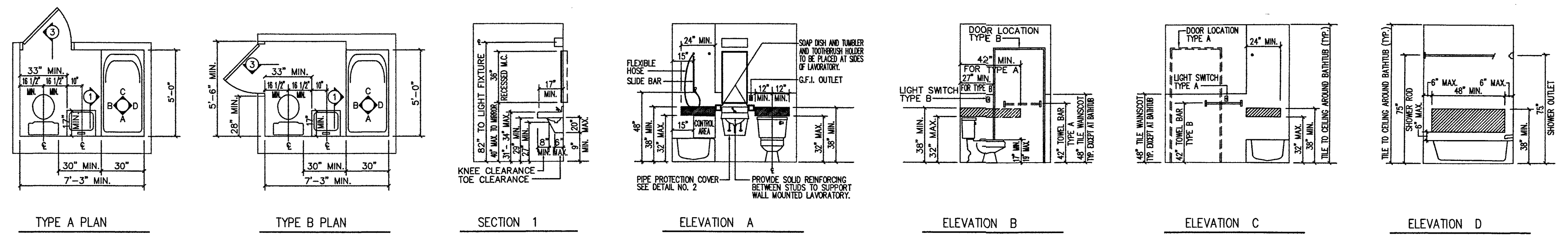
6 MANEUVERING CLEARANCES AT DOORS SCALE: 1/4" = 1'-0"



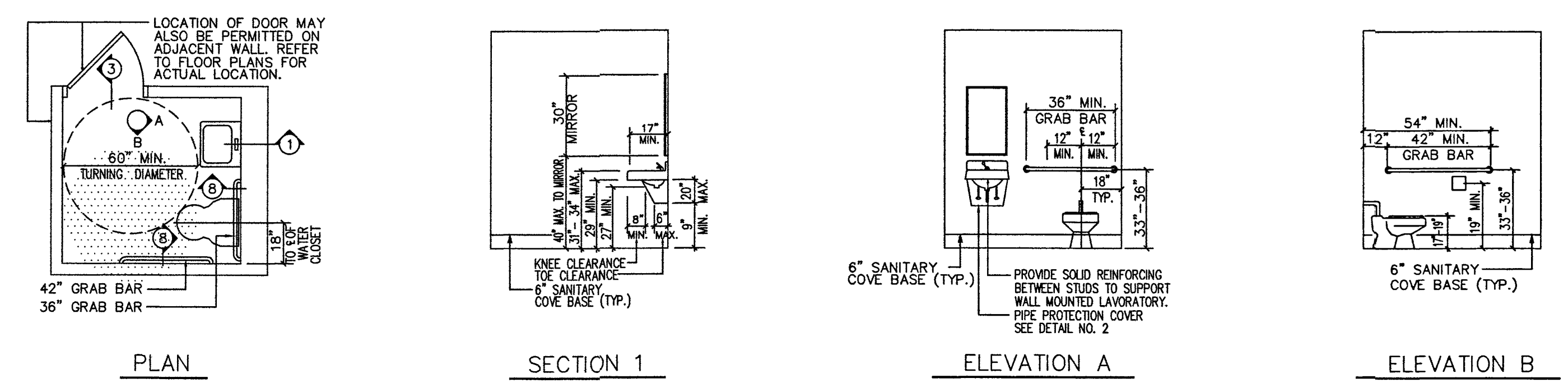
7 ADAPTABLE KITCHEN DETAILS SCALE: 1/4" = 1'-0"



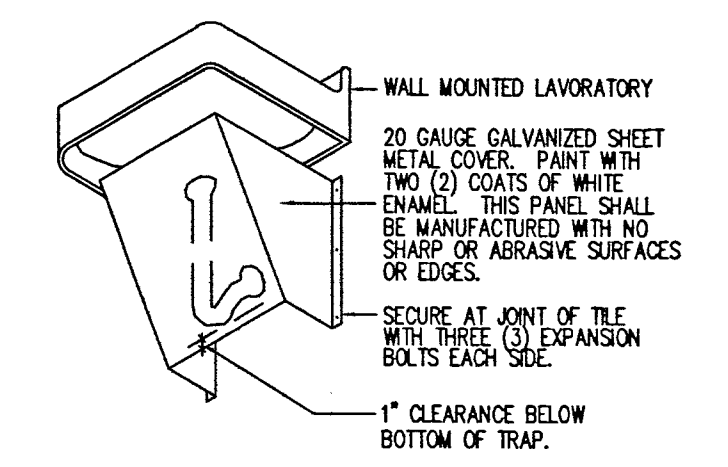
5 TYPICAL APARTMENT BATHROOM PLAN AND ELEVATIONS (SEE NOTES)



8 TYPICAL ADAPTABLE APARTMENT BATHROOM PLAN AND ELEVATIONS (SEE NOTES)



9 TYPICAL PUBLIC USE TOILET ROOM PLAN & ELEVATIONS (SEE NOTES)



10 PIPE PROTECTION COVER DETAIL N.T.S.

NOTES:

- GRAB BARS SHALL BE LOCATED ON EACH SIDE, OR ONE SIDE, AND THE BACK OF THE PHYSICALLY DISABLED TOILET STALL OR COMPARTMENT AND SHALL BE SECURELY ATTACHED 33 INCHES ABOVE AND PARALLEL TO THE FLOOR. IF A TANK TYPE TOILET IS USED WHICH OBSTRUCTS THE PLACEMENT OF THE GRAB BAR(S) AT 33 INCHES, THE GRAB BAR MAY BE AS HIGH AS 36 INCHES.
 - GRAB BARS AT THE SIDE SHALL BE AT LEAST 42 INCHES LONG WITH THE REAR END POSITIONED 12 INCHES MAX. FROM THE REAR WALL WITH THE FRONT END OF THE GRAB BAR PROJECTING 24 INCHES MIN., FROM THE FRONT OF THE FACE OF THE TOILET, AND GRAB BARS AT THE BACK SHALL NOT BE LESS THAN 36 INCHES LONG.
 - THE DIAMETER OR THE WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE FROM 1-1/4 INCHES TO 1-1/2 INCHES OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
 - IF THE GRAB BARS ARE MOUNTED TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE 1-1/2 INCHES.
 - A GRAB BAR AND ANY WALL OR THEIR SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS.
 - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
 - EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH.
 - GRAB BARS, TUB AND SHOWER SEATS, FASTENERS AND MOUNTING DEVICES SHALL BE DESIGNED FOR 250 LBS. PER LINEAR FOOT LOAD.
 - ALL BATHROOM AND TOILET ROOM PLANS AND ELEVATIONS ARE SHOWN FOR MINIMUM LEGAL DIMENSIONS, FIXTURE, ACCESSORY, REINFORCING, AND DOOR LOCATION ONLY. CONTRACTOR SHALL REFER TO FLOOR PLANS FOR ACTUAL BATHROOM AND TOILET ROOM DIMENSIONS. ANY DISCREPANCIES BETWEEN ACTUAL SIZES AND MINIMUM DIMENSIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF H.P.D. ARCHITECT.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE INSTALLATION OF ALL REINFORCING, FIXTURES AND ACCESSORIES AT HEIGHTS AND WITH CLEARANCES AS SHOWN ON THIS DRAWING. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF H.P.D. ARCHITECT.
 - CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ALL SIZES, MAKES, MODELS, AND ALL OTHER NECESSARY REQUIREMENTS FOR FIXTURES AND ACCESSORIES.
- CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE FOLLOWING SPECIFICATION SECTIONS:
 1E- SUPPLEMENT OF REQUIREMENTS FOR ADAPTABLE APARTMENTS.
 1F- SUPPLEMENT OF REQUIREMENTS FOR PUBLIC AREAS.

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PROJECT LOCATION

129-14 Merrick Blvd
 Jamaica NY, 11434

OWNER INFORMATION

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 77-25 164th St
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DRAWING TITLE

Handicap Accessibility notes & details

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	B. SALIM		AS SHOWN	10/29/18
NO.	DATE	REVISION		

APPROVAL STAMPS

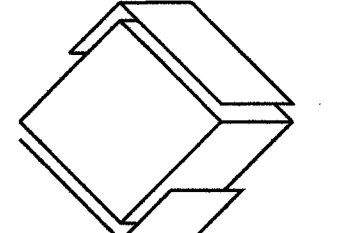
Devin Phillips
 OCT 31 2018
 EXAMINED FOR TYPING, EGRESS AND FIRE PREVENTION MARK AS PER D.M. 2015

APPLICATION NO.



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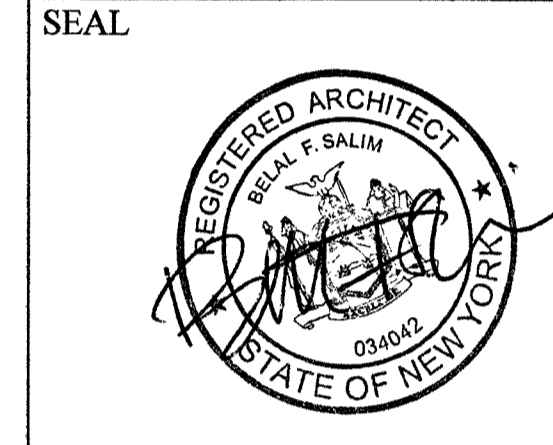


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General notes

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	B. SALIM	10/29/18
NO.	DATE	REVISION

APPROVAL STAMPS

Devin Phillips
OCT 31 2019
EXAMINEE FOR ZONING EGRESS AND FIRE PREVENTION ONLY AS PER REG. 215

APPLICATION NO.
DEPT BLDG Job No. 421699790
Scan Code ESH502016

DRAWING NO.

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LOCAL LAW 58/87 NOTES

- 1. AREAS THAT ARE ACCESSIBLE TO PHYSICALLY HANDICAPPED PEOPLE SHALL COMPLY WITH THE FOLLOWING PROVISIONS AS STATED BELOW.
- 2. ALL WALKS, HALLS, CORRIDORS, ASSES, AND OTHER SPACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH R.S. 4-6 (ANSI A117.1-1996) 4.3 AND LOCAL LAW 58/87.
- 3. ACCESSIBLE ROUTES ARE DEFINED AS CONTINUOUS UNOBSTRUCTED PATHS CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES IN A BUILDING THAT CAN BE COMPLETED BY A PERSON WITH A SEVERE DISABILITY USING A WHEELCHAIR AND THAT ARE ALSO SAFE FOR AND USABLE BY PEOPLE WITH OTHER DISABILITIES. ACCESSIBLE ROUTES INCLUDE BOTH EXTERIOR AND INTERIOR. EXAMPLES OF ACCESSIBLE ROUTES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - EXTERIOR ACCESSIBLE ROUTES:
 - SIDEWALKS
 - CURB RAMPS
 - BUILDING PRIMARY ENTRANCE(S)
 - (ANY NORMAL DAY TO DAY ENTRANCE(S) INCLUDING COMMERCIAL SPACES AND ANY SIDE ENTRANCE(S))
 - INTERIOR ACCESSIBLE ROUTES:
 - CORRIDORS AND HALLWAYS
 - RAMPS AND STAIRS
 - LOBBIES, FOYERS AND VESTIBULES
 - CLEAR FLOOR SPACE AT FIXTURES AND EQUIPMENTEXAMPLES OF ACCESSIBLE SPACES AND ELEMENTS SHALL INCLUDE BUT ARE NOT LIMITED TO:
 - ADAPTED NUMBER OF ADJACENT DWELLING UNITS SHALL BE AS FOLLOWS:
 - A. BUILDINGS WITHOUT ELEVATORS:
 - AT LEAST ONE BUT NOT LESS THAN 25% OF THE TOTAL NUMBER OF DWELLING UNITS AT A BUILDING WHICH HAS DWELLING UNITS ON THE GROUND FLOOR SHALL BE ADAPTABLE AS PER LOCAL LAW 58/87.
 - B. BUILDINGS WITH ELEVATORS:
 - ALL DWELLING UNITS SHALL BE ADAPTABLE AS PER LOCAL LAW 58/87.

- 4. BUILDINGS WITHOUT ELEVATORS:
 - AT LEAST ONE BUT NOT LESS THAN 25% OF THE TOTAL NUMBER OF DWELLING UNITS AT A BUILDING WHICH HAS DWELLING UNITS ON THE GROUND FLOOR SHALL BE ADAPTABLE AS PER LOCAL LAW 58/87.
- 5. ALL ELEVATORS SHALL COMPLY WITH R.S. 4-6 SECTION 4.10.
- 6. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS AND CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT AND SECTION 4.27.
- 7. ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH R.S. 4-6 SECTION 4.8.
- 8. ALL STAIRS ALONG AN ACCESSIBLE ROUTE SHALL COMPLY WITH R.S. 4-6 SECTION 4.9.
- 9. HANDRAILS AT STAIRS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH R.S. 4-6 SECTION 4.9.4.
- 10. DETECTABLE WARNINGS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH R.S. 4-6 SECTION 4.27.
- 11. DETECTABLE WARNINGS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH R.S. 4-6 SECTION 4.27.
- 12. ANY 2" OR GREATER DEPTH OF ADJACENT STAIR RUNS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH R.S. 4-6 SECTION 4.27.4.
- 13. CHANGE IN LEVEL AND SHALL COMPLY WITH R.S. 4-6 SECTION 4.13.3.
- 14. DETECTABLE WARNINGS TO ACCESSIBLE SPACES SHALL COMPLY WITH R.S. 4-6 SECTION 4.13.
- 15. ALL HANDLES, PULLS, LATCHES, LOOKS AND OTHER OPENING DEVICES SHALL BE PROPERLY FLASHED AND ALL EXPOSED JOINTS TO BE PROPERLY CAULKED.
- 16. PROVIDE NEW GYPSUM BOARD SUSPENDED CEILING IN ALL PARTMENTS EXCEPT IN A MINIMUM 4 IN ABOVE WINDOW HEAD AND A MINIMUM HEIGHT OF 8 FT.
- 17. PROVIDE NEW TILE FLOORS AND NEW TILE WAINSCOTING IN ALL PUBLIC HALLS, LOBBIES, STAIRS AND STAIR WELLS. DETECTABLE WARNINGS AS NOTED ON THE FINISH SCHEDULE, WHERE STRUCTURAL OR MECHANICAL SYSTEMS (ELEC., PLUMB., HVAC) PROHIBIT THE APPLICATION OF A PLASTER CEILING, A NEW GYPSUM BOARD SUSPENDED CEILING SHALL BE PROVIDED.
- 18. ALL KITCHEN AND KITCHENETTE DROPPED ARCHES SHALL BE A MINIMUM 4 IN CLEARANCE.
- 19. PROVIDE NEW TILE FLOORS AND NEW TILE WAINSCOTING IN ALL PUBLIC HALLS, LOBBIES, STAIRS AND STAIR WELLS. DETECTABLE WARNINGS AS NOTED ON THE FINISH SCHEDULE.
- 20. PROVIDE ALL NEW PUBLIC HALL STAIRS INCLUDING EXTERIOR CONTROLLED INTERIOR PAN STAIRS AND ASSEMBLIES, INTERMEDIATE LANDINGS AND ASSEMBLIES, NEWEL POSTS, BALLISTERS, AND HANDRAILS. FLOOR CONTINUE WITH FINISHING TO BE THE SAME AS NOTED ON DRAWINGS AND ON THE FINISH SCHEDULE.
- 21. SCRAPE, REPAIR AND PAINT EXISTING FIRE ESCAPES RUSTED STEEL SHALL BE EXECUTED FROM APPROVED SHOP DRAWINGS.
- 22. FIREPROOF SHALL BE APPLIED TO ALL FIRST TIER STRUCTURAL STEEL (INCLUDING METAL DECKS) EXISTING WITH FINISHING TO BE THE SAME AS NOTED ON DRAWINGS AND ON THE FINISH SCHEDULE.
- 23. SCRAPE, REPAIR AND PAINT EXISTING FIRE ESCAPES RUSTED STEEL SHALL BE EXECUTED FROM APPROVED SHOP DRAWINGS.
- 24. FIREPROOF SHALL BE APPLIED TO ALL FIRST TIER STRUCTURAL STEEL (INCLUDING METAL DECKS) EXISTING WITH FINISHING TO BE THE SAME AS NOTED ON DRAWINGS AND ON THE FINISH SCHEDULE.
- 25. SCRAPE, REPAIR AND PAINT EXISTING FIRE ESCAPES RUSTED STEEL SHALL BE EXECUTED FROM APPROVED SHOP DRAWINGS.
- 26. PROVIDE NEW INTERIOR OPERABLE SECURITY GATES AT ALL WINDOWS OPENING TO FIRE ESCAPES.
- 27. PROVIDE ALL NEW CHLORINE WINDOW GUARDS AT ALL APARTMENT AND PUBLIC HALL WINDOWS EXCEPT WHERE SECURITY GATES AND FIXED METAL WINDOW GUARDS ARE NOTED.
- 28. PROVIDE NEW SINGLE PLY MEMBRANE ROOFING TO ENTIRE ROOF SURFACE. PROVIDE PROPER FLASHING AND FITCH TO ROOF DRAINS.
- 29. PROVIDE NEW INSULATION AT ALL ROOF AREAS EXCEPT PERIMETER WALLS (INCLUDING LOT LINE), AND ALL FLOORS ABOVE UNHEATED SPACES AS PER NEW YORK STATE ENERGY CONSERVATION CODE. ALL FIRE-RATED ASSEMBLIES.
- 30. ALL FLOOR DIVISIONS AND SEPARATIONS ALL PERIMETER PARTITIONS AT MASONRY WALLS ALL LOAD BEARING PARTITIONS EXISTING AND NEW.

STEEL C-JOIST NOTES

- 1. FOR REPLACEMENT OF EXISTING WOOD JOIST, WHERE CLEAR SPAN IS MORE THAN WOOD JOIST LIMITS, USE LIGHTWEIGHT STEEL C-JOIST AS SPECIFIED BELOW, MANUFACTURED BY HANNO/WALDE OR SOUTH PLAINFIELD, N.J. OR APPROVED EQUAL.
 - 12x12 @ 12" O.C. FOR CLEAR SPAN 30'-0" OR LESS
 - 12x12 @ 16" O.C. FOR CLEAR SPAN 32'-0" OR LESS
 - 12x14 @ 16" O.C. FOR CLEAR SPAN 37'-0" OR LESS
 - 12x14 @ 16" O.C. FOR CLEAR SPAN 42'-0" OR LESS
 - 14x12 @ 16" O.C. FOR CLEAR SPAN 30'-0" OR LESS
 - 14x12 @ 16" O.C. FOR CLEAR SPAN 37'-0" OR LESS
 - 14x14 @ 16" O.C. FOR CLEAR SPAN 27'-0" OR LESS
- 2. FOR BEARING, BRIDGING, STIFFENER, CONNECTION AND INTERIOR CONNECTIONS, CONTROLLED PER STRUCTURER'S SPECIFICATION AND CATALOGUE DETAILS COMPLETELY.
- 3. CONTRACTOR SHALL SUBMIT SHOP DRAWING TO H.P.D. ENGINEER FOR REVIEW AND APPROVAL. PRIOR TO ASSEMBLY AND INSTALLATION. ALL DOCUMENTS AND COPIES OF ALL DOCUMENTS SHALL BE FORWARDED TO H.P.D. ARCHITECT.
- 4. THE SHOP DRAWINGS MUST SHOW ANY AND ALL BEARING, BRIDGING, STIFFENER AND CONNECTION DETAILS, CONFORMING TO MANUFACTURER'S SPECIFICATION AND INSTALLATION PER LOCAL LAW 58/87.
- 5. ANY OTHER CONDITION, WHICH IS NOT MENTIONED ABOVE, SHALL BE REFERRED TO H.P.D. ENGINEER.

STANDARD

- 1. ALL DIMENSIONS ARE TO FINISH SURFACES.
- 2. THE EXISTING STRUCTURE SHALL BE PROPERLY FLASHED AND ALL EXPOSED JOINTS TO BE PROPERLY CAULKED.
- 3. PROVIDE NEW GYPSUM BOARD SUSPENDED CEILING IN ALL PARTMENTS EXCEPT IN A MINIMUM 4 IN ABOVE WINDOW HEAD AND A MINIMUM HEIGHT OF 8 FT.
- 4. PROVIDE NEW PLASTER AT WALLS AND CEILINGS IN ALL PUBLIC HALLS, LOBBIES, VESTIBULES, STAIR HALLS AND BULKHEADS, AND ELSEWHERES AS NOTED ON THE FINISH SCHEDULE, WHERE STRUCTURAL OR MECHANICAL SYSTEMS (ELEC., PLUMB., HVAC) PROHIBIT THE APPLICATION OF A PLASTER CEILING, A NEW GYPSUM BOARD SUSPENDED CEILING SHALL BE PROVIDED.
- 5. ALL KITCHEN AND KITCHENETTE DROPPED ARCHES SHALL BE A MINIMUM 4 IN CLEARANCE.
- 6. PROVIDE NEW TILE FLOORS AND NEW TILE WAINSCOTING IN ALL PUBLIC HALLS, LOBBIES, STAIRS AND STAIR WELLS. DETECTABLE WARNINGS AS NOTED ON THE FINISH SCHEDULE.
- 7. PROVIDE ALL NEW PUBLIC HALL STAIRS INCLUDING EXTERIOR CONTROLLED INTERIOR PAN STAIRS AND ASSEMBLIES, INTERMEDIATE LANDINGS AND ASSEMBLIES, NEWEL POSTS, BALLISTERS, AND HANDRAILS. FLOOR CONTINUE WITH FINISHING TO BE THE SAME AS NOTED ON DRAWINGS AND ON THE FINISH SCHEDULE.
- 8. SCRAPE, REPAIR AND PAINT EXISTING FIRE ESCAPES RUSTED STEEL SHALL BE EXECUTED FROM APPROVED SHOP DRAWINGS.
- 9. ALL BUILDING WINDOWS WITH SILL HEIGHTS LESS THAN 4'-0" ABOVE SIDEWALK SHALL BE PROVIDED WITH ADJACENT ROOF AREAS SHALL HAVE FIXED METAL WINDOW GUARDS SECURELY FASTENED TO THE ADJACENT MASONRY. ONE GUARD IN EACH APARTMENT TO BE OPERABLE.
- 10. PROVIDE NEW INTERIOR OPERABLE SECURITY GATES AT ALL WINDOWS OPENING TO FIRE ESCAPES.
- 11. PROVIDE ALL NEW CHLORINE WINDOW GUARDS AT ALL APARTMENT AND PUBLIC HALL WINDOWS EXCEPT WHERE SECURITY GATES AND FIXED METAL WINDOW GUARDS ARE NOTED.
- 12. PROVIDE NEW SINGLE PLY MEMBRANE ROOFING TO ENTIRE ROOF SURFACE. PROVIDE PROPER FLASHING AND FITCH TO ROOF DRAINS.
- 13. PROVIDE NEW INSULATION AT ALL ROOF AREAS EXCEPT PERIMETER WALLS (INCLUDING LOT LINE), AND ALL FLOORS ABOVE UNHEATED SPACES AS PER NEW YORK STATE ENERGY CONSERVATION CODE. ALL FIRE-RATED ASSEMBLIES.
- 14. ALL FLOOR DIVISIONS AND SEPARATIONS ALL PERIMETER PARTITIONS AT MASONRY WALLS ALL LOAD BEARING PARTITIONS EXISTING AND NEW.

SPECIAL NOTES

- 1. THE OWNER/CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE PLANS, INCLUDING FIELD CONDITIONS, DURING THE COURSE OF CONSTRUCTION PRIOR TO THE COMMENCEMENT OF ANY WORK.
- 2. THE BUILDING SHALL BE SUFFICIENTLY BRACED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION TO SATISFY RAIN, SNOW OR WIND LOADS.
- 3. CONTRACTOR TO PERFORM TEST FITS TO VERIFY THE DEPTH OF FOOTINGS OF THE ADJACENT BUILDINGS. CONTRACTOR TO SUBMIT THE DEPTH (ELEVATION) OF THE FOOTINGS TO THE ARCHITECT.
- 4. CONTRACTOR TO MONITOR ALL EXCAVATION WORKING MECHANICAL EQUIPMENT. NO USE OF MECHANICAL EQUIPMENT WITHIN 3'-0" OF ADJACENT FOUNDATION.
- 5. WITHIN 3'-0" OF ADJACENT FOUNDATION TO BE EXCAVATED BY HAND AND REPORT ADJACENT FOUNDATION AS REQUIRED TO INSURE STRUCTURAL STABILITY OF ADJACENT BUILDING.

CONSTRUCTION NOTES

- 1. WOOD CONSTRUCTION SHALL CONFORM TO THE NEW YORK CITY BUILDING CODE, LATEST EDITION.
- 2. ALL FRAMING LUMBER SHALL BE GRADE MARKED AT MILL PRIOR TO DELIVERY TO THE JOB SITE.
- 3. ALL NEW WOOD JOISTS SHALL BE DOUGLAS FIR NO. 2, 3 OR BETTER ALLOWABLE STRESSES: F=1000 P.S.I. (MIN.), E=1600 K.S.I.
- 4. NEW WOOD JOISTS ARE BASED ON 40 P.S.F. LIVE LOAD AND 65 P.S.F. TOTAL LOAD FOR APARTMENTS AND CORRIDORS UNLESS OTHERWISE INSTRUCTED. DEFLECTION LIMITED TO 1/360 SPAN. MAXIMUM SPANS FOR NEW WOOD JOISTS SHALL BE AS FOLLOWS:
 - 3" X 8" @12" O.C. 16'-3" CLEAR SPAN OR LESS
 - 3" X 8" @16" O.C. 14'-0" CLEAR SPAN OR LESS
 - 3" X 10" @12" O.C. 20'-0" CLEAR SPAN OR LESS
 - 3" X 10" @16" O.C. 17'-3" CLEAR SPAN OR LESS
 - 3" X 12" @12" O.C. 23'-0" CLEAR SPAN OR LESS
- 5. CONTRACTOR SHALL FIELD VERIFY ALL JOIST SPANS AND BE RESPONSIBLE FOR CONFORMING TO THE ABOVE. ALL JOISTS FRAMING INTO MASONRY SHALL HAVE 15 DEGREES OF BEARING.
- 6. PROVIDE 1 1/2" X 1/4" X 4'-0" LONG WALL ANCHORS 6'-0" O.C. WHERE MASONRY WALLS RUN PARALLEL TO JOISTS. PROVIDE 1 1/2" X 1/4" X 16' LONG T-ANCHORS EVERY FOURTH JOIST WHERE JOISTS FRAMING INTO MASONRY WALLS.
- 7. ELBOW OR NOTCHED AS DETAILED ON DRAWINGS. WHERE NOTCHING OF JOISTS EXCEEDS MAX. ALLOWABLE, STEEL BRIDGE IRONS SHALL BE USED. PROVIDE BRIDGING FOR FLOOR JOISTS AT 8'-0" O.C.
- 8. PROVIDE 1 1/2" X 1/4" X 4'-0" LONG WALL ANCHORS 6'-0" O.C. WHERE MASONRY WALLS RUN PARALLEL TO JOISTS. PROVIDE 1 1/2" X 1/4" X 16' LONG T-ANCHORS EVERY FOURTH JOIST WHERE JOISTS FRAMING INTO MASONRY WALLS.
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- 10. FRAMING FOR ALL NEW OPENINGS IN FLOORS, DOUBLE HEADERS AND TRIMMERS SHALL BE HUNG IN APPROVED REMOVE AND REBUILD MASONRY.
- 11. PROVIDE NEW 2" X 6" MIN. WOOD SLEEPERS 16" O.C. MAX. IN ALL AREAS WHERE EXISTING WOOD SLEEPERS ARE REMOVED OR WHERE THERE ARE NO SLEEPERS. NEW SLEEPERS SHALL SPAN OVER EXISTING CONCRETE ARCHES AND BEAR ON STEEL OR ADJACENT MASONRY.
- 12. ALL STRUCTURAL LUMBER EXPOSED TO WEATHER SHALL BE PRESURE TREATED.
- 13. USE GALVANIZED SCOTORS (INCLUDING NAILS) AT ALL EXTERIOR SURFACES.

- 1. ALL DIMENSIONS ARE TO FINISH SURFACES.
- 2. THE EXISTING STRUCTURE SHALL BE PROPERLY FLASHED AND ALL EXPOSED JOINTS TO BE PROPERLY CAULKED.
- 3. PROVIDE NEW GYPSUM BOARD SUSPENDED CEILING IN ALL PARTMENTS EXCEPT IN A MINIMUM 4 IN ABOVE WINDOW HEAD AND A MINIMUM HEIGHT OF 8 FT.
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- 6. PROVIDE NEW TILE FLOORS AND NEW TILE WAINSCOTING IN ALL PUBLIC HALLS, LOBBIES, STAIRS AND STAIR WELLS. DETECTABLE WARNINGS AS NOTED ON THE FINISH SCHEDULE.
- 7. PROVIDE ALL NEW PUBLIC HALL STAIRS INCLUDING EXTERIOR CONTROLLED INTERIOR PAN STAIRS AND ASSEMBLIES, INTERMEDIATE LANDINGS AND ASSEMBLIES, NEWEL POSTS, BALLISTERS, AND HANDRAILS. FLOOR CONTINUE WITH FINISHING TO BE THE SAME AS NOTED ON DRAWINGS AND ON THE FINISH SCHEDULE.
- 8. SCRAPE, REPAIR AND PAINT EXISTING FIRE ESCAPES RUSTED STEEL SHALL BE EXECUTED FROM APPROVED SHOP DRAWINGS.
- 9. ALL BUILDING WINDOWS WITH SILL HEIGHTS LESS THAN 4'-0" ABOVE SIDEWALK SHALL BE PROVIDED WITH ADJACENT ROOF AREAS SHALL HAVE FIXED METAL WINDOW GUARDS SECURELY FASTENED TO THE ADJACENT MASONRY. ONE GUARD IN EACH APARTMENT TO BE OPERABLE.
- 10. PROVIDE NEW INTERIOR OPERABLE SECURITY GATES AT ALL WINDOWS OPENING TO FIRE ESCAPES.
- 11. PROVIDE ALL NEW CHLORINE WINDOW GUARDS AT ALL APARTMENT AND PUBLIC HALL WINDOWS EXCEPT WHERE SECURITY GATES AND FIXED METAL WINDOW GUARDS ARE NOTED.
- 12. PROVIDE NEW SINGLE PLY MEMBRANE ROOFING TO ENTIRE ROOF SURFACE. PROVIDE PROPER FLASHING AND FITCH TO ROOF DRAINS.
- 13. PROVIDE NEW INSULATION AT ALL ROOF AREAS EXCEPT PERIMETER WALLS (INCLUDING LOT LINE), AND ALL FLOORS ABOVE UNHEATED SPACES AS PER NEW YORK STATE ENERGY CONSERVATION CODE. ALL FIRE-RATED ASSEMBLIES.
- 14. ALL FLOOR DIVISIONS AND SEPARATIONS ALL PERIMETER PARTITIONS AT MASONRY WALLS ALL LOAD BEARING PARTITIONS EXISTING AND NEW.

CONSTRUCTION NOTES

- 8. PROVIDE LOOSE LINTELS OVER ALL NEW MASONRY OPENINGS (UNLESS NOTED OTHERWISE ON PLANS) AND REPLACE EXISTING LINTELS AS DIRECTED BY H.P.D. SITE PERSONNEL. SPANS FOR NEW LINTELS SHALL BE AS FOLLOWS:
 - MASONRY OPENING LESS THAN 48" 4" X 3 1/2" X 5/16" (3 1/2" LEG HORIZONTAL)
 - 48" OR GREATER SEE DRAWINGS
- 9. PROVIDE ONE ANGLE FOR EACH 4" OF WALL THICKNESS. PROVIDE 5" X 3 1/2" X 5/16" ANGLES FOR 6" THICK WALLS. ALL LINTELS SHALL HAVE A MINIMUM OF 4" BEARING ON EACH END.
- 10. NEW MASONRY BEAM POCKETS ARE TO BE CREATED OR EXISTING POCKETS ARE TO BE MODIFIED FOR ALL NEW WOOD AND STEEL BEAMS. ALL UNUSED BEAM POCKETS ARE TO BE FILLED SOLID WITH MASONRY.
- 11. ALL EXISTING POCKETS FOR OLD STORAGE BOXES SHALL BE FILLED SOLID WITH MASONRY.
- 12. PROVIDE NEW MASONRY OPENINGS IN BUILDING FACADES (EXCEPT FACE BRICK FACADES) FOR THE INSTALLATION OF NEW ROOF VENTS. LOCATION OF NEW ROOF VENTS TO BE AS PER DRAWINGS. ELEVATION OF NEW ROOF VENTS SHALL BE AS FOLLOWS:
 - A. AT SLOPED ROOF JOISTS - HIGHEST POINT BETWEEN THE JOISTS WHEN PERPENDICULAR TO BACK FACE TO BE BELOW THE JOIST CENTERLINE WHEN PARALLEL WITH WALL.
 - B. AT PATTERN ROOF - HIGHEST POINT OF THE COCKLOFT MUST BE BELOW THE APPLIED OVERLAP. IN BOTH ROOF STRUCTURES, VENTS TO BE LOCATED ABOVE BATT ROOF INSULATION. ROOF VENTS FOR THE APPROVAL OF H.P.D. ARCHITECT. METAL VENTILATORS MOUNTED ON ROOF AT HIGHEST POINT.
- 13. PROVIDE TWO (2) COATS OF CEMENT STUCCO AT ALL EXTERIOR MASONRY SURFACES INCLUDING PARAPETS AND BULKHEADS (ENTRY COURT AND STREET FACADE FACE BRICK SURFACES SHALL NOT BE INCLUDED). GALVANIZED STEEL SHALL BE APPLIED OVER ALL EXISTING BITUMINOUS MASTIC SURFACES BEFORE APPLYING STUCCO. STUCCO COLOR SHALL BE SUBMITTED TO H.P.D. ARCHITECT FOR APPROVAL.
- 14. PROVIDE COAT OF BITUMINOUS MASTIC AT ALL INTERIOR SURFACES OF EXTERIOR FACE BRICK WALLS.
- 15. PROVIDE 100% REPOINTING OF ENTIRE EXTERIOR FACE BRICK WORK. COLOR OF EXISTING MORTAR COAT TO MATCH COLOR OF EXISTING MORTAR.

CONSTRUCTION NOTES

- 1. ALL CONCRETE WORK SHALL CONFORM TO A.C.I. 318-89 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND THE BUILDING CODE OF THE CITY OF NEW YORK.
- 2. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN THE SERVICES OF A LICENSED PROFESSIONAL ENGINEER FOR ALL CONTROLLED CONCRETE WORK. THIS PROFESSIONAL ENGINEER SHALL FILE ALL THE DOCUMENTS AND BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND FINAL APPROVALS AS REQUIRED BY THE BUILDING CODE OF THE CITY OF NEW YORK. COPIES OF ALL DOCUMENTS SHALL BE FORWARDED TO H.P.D. ARCHITECT.
- 3. ALL FOOTINGS, FOUNDATION WALLS, RETAINING WALLS, FRAMED SLABS AND BEAMS SHALL BE CONTROLLED CONCRETE HAVING A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3500 P.S.I. IN 28 DAYS. ALL CONCRETE EXPOSED TO WEATHER OR GRADE SHALL BE AIR ENTRAINED. ALL OTHER CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH IN 28 DAYS UNLESS OTHERWISE SPECIFIED AS FOLLOWS:
 - SLABS ON GRADE - AIR ENTRAINED STONE 3500 P.S.I. SIDEWALKS - AIR ENTRAINED STONE 3500 P.S.I. CONCRETE FILL 3500 P.S.I. SILLS & COPING - LOW ABSORPTION 5000 P.S.I. EQUIPMENT PADS - STONE 3500 P.S.I.
- 4. CONCRETE SHALL NOT BE PLACED IN TEMPERATURE LESS THAN 40 DEGREES F. OR WHEN TEMPERATURE IS ANTICIPATED TO BE BELOW 40 DEGREES F. FOR 48 HOURS AFTER POURING IS COMPLETED.
- 5. THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES AS REQUIRED FOR INSTALLATION OF BUILT-IN REFRIGERATION AND BUILT-IN APPLIANCES. LOCATION OF SLEEVES AND OPENINGS NOT SHOWN ON PLANS SHALL BE SUBJECT TO THE APPROVAL OF H.P.D. ARCHITECT.
- 6. ALL REINFORCING MATERIAL SHALL BE NEW BILLET STEEL CONFORMING TO A.S.T.M. 615 GRADE 60. 6" X 6" - 10/10 GAUGE WELDED WIRE MESH.
- 7. MINIMUM CONCRETE COVER FOR NON-PRESTRESSED CASE-IN-PLACE CONCRETE SHALL BE BASED ON A.C.I. 318-89 PART 8, CHAPTER 7.1.1. EXCEPT AS NOTED OTHERWISE. MINIMUM COVER SHALL BE:
 - SLABS (4" BAR AND SMALLER) 3/4 IN.
 - BEAMS, COLUMNS (PRIMARY REINFORCEMENT) 1 1/2 IN.
 - FOOTINGS 3 IN.
 - WALLS:
 - A. CONCRETE EXPOSED TO EARTH OR WEATHER: (#5 BAR, W31 OR D31 (#5 BAR AND SMALLER) 1 1/2 IN. (#6 THRU #18 BARS) 2 IN.
 - B. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: (#14 BAR AND SMALLER) 3/4 IN. (#14 BAR AND #18 BARS) 1 1/2 IN.
- 8. PROVIDE NEW CONCRETE FOOTINGS ON SOUND UNDISTURBED SOIL. FOR ALL CONCRETE BEARING WALLS, DEPTH OF NEW FOOTINGS TO BE 4'-0" MIN. BELOW GRADE OR UNDISTURBED SOIL, WHICHEVER IS GREATER.
- 9. PROVIDE NEW 4" PRECAST CONCRETE SLAB WITH 6 MIL VAPOR BARRIER OVER CLEAN WELL COMPACTED SOIL IN ALL AREAS OF CELLAR, BASEMENT OR FIRST FLOOR UNLESS NOTED OTHERWISE ON DRAWINGS.
- 10. PROVIDE NEW 4" REINFORCED CONCRETE SLAB ON 4" GRAVEL BASE IN ALL COURT, YARD AND FIRE PASSAGES UNLESS NOTED OTHERWISE ON DRAWINGS. PROVIDE MINIMUM 1/4" PER FT. SLOPE TO DRAIN.
- 11. PROVIDE NEW 4" REINFORCED CONCRETE SIDEWALKS ON 6" GRAVEL BASE FOR ENTIRE SITE AND ELSEWHERE AS NOTED ON DRAWINGS. PROVIDE NEW METAL FACED CURBS FOR ENTIRE SITE. NEW SIDEWALKS AND CURBS TO BE AS PER THE BUILDING CODE OF THE CITY OF NEW YORK. OPENINGS IN EXISTING CONCRETE SLABS ARE TO BE SEALED WITH 4" LIGHT WEIGHT CONCRETE FILL. CONTRACTOR IS TO PREPARE SHOP DRAWINGS TO ENSURE PROPER BOND. CONTRACTOR SHALL PROPERLY SHORE AND MAKE SAFE ALL FLOORS FOR THE EXECUTION OF THIS WORK.

CONSTRUCTION NOTES

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- 2. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN THE SERVICES OF A LICENSED PROFESSIONAL ENGINEER FOR ALL CONTROLLED CONCRETE WORK. THIS PROFESSIONAL ENGINEER SHALL FILE ALL THE DOCUMENTS AND BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND FINAL APPROVALS AS REQUIRED BY THE BUILDING CODE OF THE CITY OF NEW YORK. COPIES OF ALL DOCUMENTS SHALL BE FORWARDED TO H.P.D. ARCHITECT.
- 3. ALL FOOTINGS, FOUNDATION WALLS, RETAINING WALLS, FRAMED SLABS AND BEAMS SHALL BE CONTROLLED CONCRETE HAVING A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3500 P.S.I. IN 28 DAYS. ALL CONCRETE EXPOSED TO WEATHER OR GRADE SHALL BE AIR ENTRAINED. ALL OTHER CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH IN 28 DAYS UNLESS OTHERWISE SPECIFIED AS FOLLOWS:
 - SLABS ON GRADE - AIR ENTRAINED STONE 3500 P.S.I. SIDEWALKS - AIR ENTRAINED STONE 3500 P.S.I. CONCRETE FILL 3500 P.S.I. SILLS & COPING - LOW ABSORPTION 5000 P.S.I. EQUIPMENT PADS - STONE 3500 P.S.I.
- 4. CONCRETE SHALL NOT BE PLACED IN TEMPERATURE LESS THAN 40 DEGREES F. OR WHEN TEMPERATURE IS ANTICIPATED TO BE BELOW 40 DEGREES F. FOR 48 HOURS AFTER POURING IS COMPLETED.
- 5. THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES AS REQUIRED FOR INSTALLATION OF BUILT-IN REFRIGERATION AND BUILT-IN APPLIANCES. LOCATION OF SLEEVES AND OPENINGS NOT SHOWN ON PLANS SHALL BE SUBJECT TO THE APPROVAL OF H.P.D. ARCHITECT.
- 6. ALL REINFORCING MATERIAL SHALL BE NEW BILLET STEEL CONFORMING TO A.S.T.M. 615 GRADE 60. 6" X 6" - 10/10 GAUGE WELDED WIRE MESH.
- 7. MINIMUM CONCRETE COVER FOR NON-PRESTRESSED CASE-IN-PLACE CONCRETE SHALL BE BASED ON A.C.I. 318-89 PART 8, CHAPTER 7.1.1. EXCEPT AS NOTED OTHERWISE. MINIMUM COVER SHALL BE:
 - SLABS (4" BAR AND SMALLER) 3/4 IN.
 - BEAMS, COLUMNS (PRIMARY REINFORCEMENT) 1 1/2 IN.
 - FOOTINGS 3 IN.
 - WALLS:
 - A. CONCRETE EXPOSED TO EARTH OR WEATHER: (#5 BAR, W31 OR D31 (#5 BAR AND SMALLER) 1 1/2 IN. (#6 THRU #18 BARS) 2 IN.
 - B. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: (#14 BAR AND SMALLER) 3/4 IN. (#14 BAR AND #18 BARS) 1 1/2 IN.
- 8. PROVIDE NEW CONCRETE FOOTINGS ON SOUND UNDISTURBED SOIL. FOR ALL CONCRETE BEARING WALLS, DEPTH OF NEW FOOTINGS TO BE 4'-0" MIN. BELOW GRADE OR UNDISTURBED SOIL, WHICHEVER IS GREATER.
- 9. PROVIDE NEW 4" PRECAST CONCRETE SLAB WITH 6 MIL VAPOR BARRIER OVER CLEAN WELL COMPACTED SOIL IN ALL AREAS OF CELLAR, BASEMENT OR FIRST FLOOR UNLESS NOTED OTHERWISE ON DRAWINGS.
- 10. PROVIDE NEW 4" REINFORCED CONCRETE SLAB ON 4" GRAVEL BASE IN ALL COURT, YARD AND FIRE PASSAGES UNLESS NOTED OTHERWISE ON DRAWINGS. PROVIDE MINIMUM 1/4" PER FT. SLOPE TO DRAIN.
- 11. PROVIDE NEW 4" REINFORCED CONCRETE SIDEWALKS ON 6" GRAVEL BASE FOR ENTIRE SITE AND ELSEWHERE AS NOTED ON DRAWINGS. PROVIDE NEW METAL FACED CURBS FOR ENTIRE SITE. NEW SIDEWALKS AND CURBS TO BE AS PER THE BUILDING CODE OF THE CITY OF NEW YORK. OPENINGS IN EXISTING CONCRETE SLABS ARE TO BE SEALED WITH 4" LIGHT WEIGHT CONCRETE FILL. CONTRACTOR IS TO PREPARE SHOP DRAWINGS TO ENSURE PROPER BOND. CONTRACTOR SHALL PROPERLY SHORE AND MAKE SAFE ALL FLOORS FOR THE EXECUTION OF THIS WORK.

STRUCTURAL STEEL

- 1. ALL STRUCTURAL STEEL SHALL CONFORM WITH A.I.S.C. SPECIFICATIONS FOR STRUCTURAL STEEL FOR BUILDINGS, LATEST EDITION.
- 2. ALL STEEL SHALL BE A.S.T.M.-A36 HAVING A SPECIFIED MINIMUM YIELD POINT OF 36,000 P.S.I. UNLESS OTHERWISE NOTED ON DRAWINGS.
- 3. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN THE SERVICES OF A LICENSED PROFESSIONAL ENGINEER FOR ALL CONTROLLED INSPECTIONS AND REPORTS FOR STRUCTURAL STEEL. THIS PROFESSIONAL ENGINEER SHALL FILE ALL THE DOCUMENTS AND BE RESPONSIBLE FOR ALL AFFIDAVITS, CONTROLLED INSPECTIONS, AND FINAL APPROVALS REQUIRED BY THE BUILDING CODE OF THE CITY OF NEW YORK. COPIES OF ALL DOCUMENTS SHALL BE FORWARDED TO H.P.D. ARCHITECT.
- 4. REE STEEL WORK SHALL BE EXECUTED FROM APPROVED SHOP DRAWINGS.
- 5. SHOP CONNECTIONS AND FIELD CONNECTIONS SHALL BE WELDED OR BOLTED. CONNECTION MATERIAL SHALL CONFORM TO A.S.T.M. SPECIFICATIONS. ALL WELDING TO BE DONE BY LICENSED WELDERS AND SHALL BE INSPECTED BY AN APPROVED WELDING AGENCY WHICH SHALL ISSUE AN AFFIDAVIT THAT ALL WELDING HAS BEEN INSPECTED AND FOUND TO BE IN CONFORMANCE WITH DETAILS.
- 6. ALL RUSTED STRUCTURAL BEAMS AND COLUMNS SHOWN ON THESE DRAWINGS HAVE BEEN OBSERVED IN THE FIELD OR HAVE BEEN ASSUMED. VARIATIONS MAY EXIST BETWEEN THESE DRAWINGS AND THE ACTUAL FIELD CONDITIONS. ANY DEVIATIONS FROM THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 7. ALL STRUCTURAL STEEL COLUMNS AND BEAMS ARE EXISTING TO REMAIN UNLESS INDICATED OTHERWISE.
- 8. ALL EXISTING STRUCTURAL STEEL SHALL BE CLEANED, REINFORCED, REPLACED, AND PAINTED AS FOLLOWS:
 - A. ALL RUSTED STRUCTURE SHALL BE PROPERLY SHORED, AS REQUIRED.
 - B. RUST SHALL BE CLEANED DOWN TO THE BASE METAL WITH MECHANICAL TOOLS, WIRE BRUSHES, SAND BLASTING OR MANUALLY.
 - C. IF THE ORIGINAL BASE METAL IS STILL IN PLACE UNDAMAGED, NO FURTHER REINFORCEMENT IS REQUIRED. PROCEED WITH 'E' BELOW.
 - D. IF ORIGINAL BASE METAL IS DAMAGED, CONTRACTOR SHALL CONSULT WITH H.P.D. ENGINEER AND AWAIT INSTRUCTIONS FROM SAME.
 - E. UPON COMPLETION OF RUST CLEANING, CONTRACTOR TO CONTINUE WITH FINISHING TO BE THE SAME AS NOTED ON DRAWINGS AND ON THE FINISH SCHEDULE.
 - F. ALL REINFORCEMENT AND OR REPLACEMENT OF RUSTED STEEL SHALL BE EXECUTED FROM APPROVED SHOP DRAWINGS.
- 9. FIREPROOF SHALL BE APPLIED TO ALL FIRST TIER STRUCTURAL STEEL (INCLUDING METAL DECKS) EXISTING WITH FINISHING TO BE THE SAME AS NOTED ON DRAWINGS AND ON THE FINISH SCHEDULE.

BOILER ROOM NOTES

- 1. EQUIPMENT BOILER HOT WATER HEATER
- 2. TRADE NAME: SEE PLAN SEE PLAN
- 3. MODEL NUMBER: INPUT NUMBER
- 4. ANY CHANGE OF HEATING APPARATUS TO BE FILED PRIOR TO INSTALLATION.
- 5. GAS VENT TO BE AMBERVIT FLUE M.E.A. 294-56SM OR EQUAL.
- 6. PROVIDE MASONRY FOUNDATION UNDER AMERVIT FLUE OR EQUAL.
- 7. PROVIDE FLOOR DRAIN IN BOILER ROOM.
- 8. PROVIDE MIN. 18" CLEARANCE BETWEEN BOILERS AND INCLUDING WALL PARTITIONS.
- 9. PROVIDE 3'-0" CLEARANCE IN FRONT OF BOILERS AND ENCLOSING WALL.
- 10. PROVIDE 4" CONCRETE SLAB IN BOILER ROOM.
- 11. PROVIDE ELECTRIC LIGHT IN BOILER ROOM.
- 12. BOILER ROOM CEILING TWO (2) LAYERS 5/8" SHEETROCK, TYPE 'X'.
- 13. NO STORAGE PERMITTED FOR BOILER ROOM ENCLOSURE PARTITIONS, NO METERS, DUMBWATER SHAFTS, ELEVATOR SHAFTS, INTERIOR STAIR OR REQUIRED OUTSIDE CEMBER ON THE DWELLING.
- 14. BUILDING SHALL COMPLY WITH SECTION D26-22.03 H.M.C. - JANITORIAL SERVICES.
- 15. BUILDING SHALL COMPLY WITH SECTION D26-33.01 H.M.C. - ROOM SIZES.
- 16. BUILDING SHALL COMPLY WITH SECTION D26-41.03 H.M.C. - REGISTRATION: TIME TO FILE.
- 17. BUILDING SHALL COMPLY WITH SECTION D26-41.17 H.M.C. - IDENTIFICATION OF MANAGING AGENT OR OWNER.
- 18. BUILDING SHALL COMPLY WITH SECTION D26-41.5 H.M.C. - POSTING OF SERIAL NUMBER.
- 19. BUILDING SHALL COMPLY WITH SECTION D26-14.03 H.M.C. - RECEPTACLES FOR GARBAGE.
- 20. BUILDING SHALL COMPLY WITH SECTION D26-14.05 H.M.C. - COLLECTION OF GARBAGE.
- 21. DOORS FROM APARTMENTS TO PUBLIC HALLS SHALL BE ONE (1) HOUR F.P.S.C. AND SHALL COMPLY WITH SECTION D26-20.07 H.M.C.

HOUSING MAINTENANCE CODE

- 1. BUILDING SHALL COMPLY WITH SECTION D26-16.03 H.M.C. DRAINAGE OF ROOFS AND COURTYARDS.
- 2. BUILDING SHALL COMPLY WITH SECTION D26-17.01 H.M.C. - CENTRAL HEATING.
- 3. BUILDING SHALL COMPLY WITH SECTION D26-17.07 H.M.C. - HOT WATER.
- 4. BUILDING SHALL COMPLY WITH SECTION D26-19.07 H.M.C. - LIGHTS IN ENTRANCEWAYS AND IN YARDS AND COURTS.
- 5. BUILDING SHALL COMPLY WITH SECTION D26-19.05 H.M.C. - LIGHTING PUBLIC HALLS AND STAIRS.
- 6. BUILDING SHALL COMPLY WITH SECTION D26-20.01 H.M.C. - REPELISHES IN ENTRANCE DOORS TO APARTMENTS.
- 7. BUILDING SHALL COMPLY WITH SECTION D26-21.03 H.M.C. - MAIL SERVICE.
- 8. BUILDING SHALL COMPLY WITH SECTION D26-21.05 H.M.C. - FLOOR SIGNS TO INDICATED FLOORS IN M.D.
- 9. BUILDING SHALL COMPLY WITH SECTION D26-21.05 H.M.C. - STREET NUMBER ON THE DWELLING.
- 10. BUILDING SHALL COMPLY WITH SECTION D26-22.03 H.M.C. - JANITORIAL SERVICES.
- 11. BUILDING SHALL COMPLY WITH SECTION D26-33.01 H.M.C. - ROOM SIZES.
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- 3. ALL FOOTINGS, FOUNDATION WALLS, RETAINING WALLS, FRAMED SLABS AND BEAMS SHALL BE CONTROLLED CONCRETE HAVING A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3500 P.S.I. IN 28 DAYS. ALL CONCRETE EXPOSED TO WEATHER OR GRADE SHALL BE AIR ENTRAINED. ALL OTHER CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH IN 28 DAYS UNLESS OTHERWISE SPECIFIED AS FOLLOWS:
 - SLABS ON GRADE - AIR ENTRAINED STONE 3500 P.S.I. SIDEWALKS - AIR ENTRAINED STONE 3500 P.S.I. CONCRETE FILL 3500 P.S.I. SILLS & COPING - LOW ABSORPTION 5000 P.S.I. EQUIPMENT PADS - STONE 3500 P.S.I.
- 4. CONCRETE SHALL NOT BE PLACED IN TEMPERATURE LESS THAN 40 DEGREES F. OR WHEN TEMPERATURE IS ANTICIPATED TO BE BELOW 40 DEGREES F. FOR 48 HOURS AFTER POURING IS COMPLETED.
-